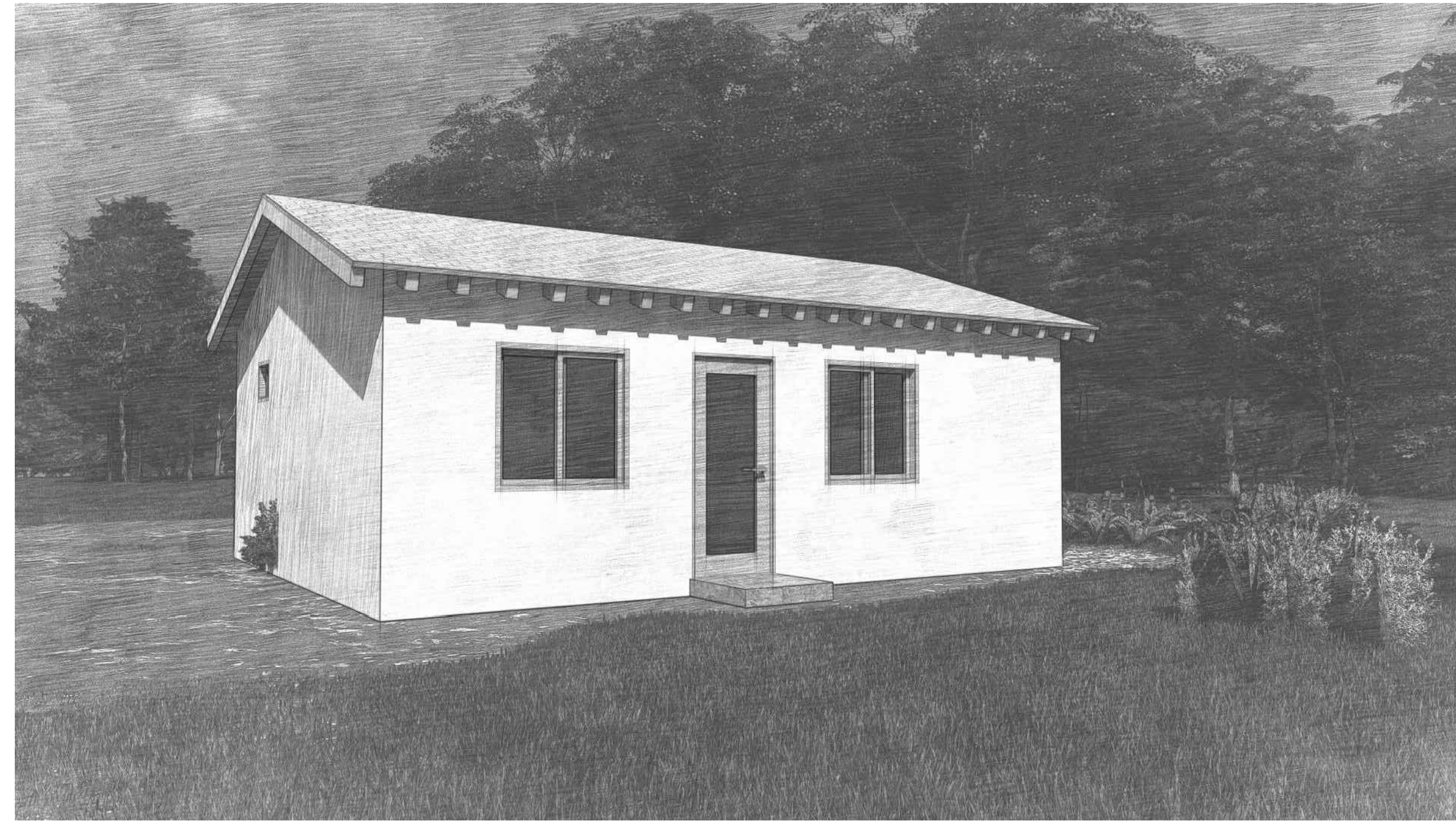


PROPOSED 484 SQ.FT. DETACHED ACCESSORY DWELLING UNIT (ADU) AT (12345 ST. CITY, STATE ZIP CODE)



DESIGN LOADS

STRUCTURAL DESIGN LOADS
WIND DESIGN - BASED ON PART 1, CHAPTER 28, ASCE7-16
 STEP 1 - RISK CATEGORY: II
 STEP 2 - BASIC WIND SPEED: 100mph
 STEP 3 - WIND LOAD PARAMETERS:
 WIND DIRECTIONAL FACTOR: $K_d = 0.85$ (Table 26.6-1)
 EXPOSURE CATEGORY: C (Section 26.7)
 TOPOGRAPHIC FACTOR: $K_{zt} = 1.0$ (Figure 26.8)
 GROUND ELEVATION FACTOR: $K_e = 1.0$ (Table 26.9-1)
 ENCLOSURE CLASSIFICATION: **PARTIALLY ENCLOSED** (WORST CASE) (Section 26.12)
 INTERNAL PRESSURE COEFFICIENT:
 $GC_{pi} = +0.55, -0.55$ (Table 26.13-1)
 STEP 4 - VELOCITY EXPOSURE PRESSURE COEFFICIENT = 0.90 (h = 20') (Table 26.10-1)
 STEP 5 - DETERMINE VELOCITY PRESSURE, q_z, q_h
 $q_z, q_h = 0.00257K_zK_{zt}K_dK_eV^2q_s, q_h = 19.6psf$
 STEP 6 - EXTERNAL PRESSURE COEFFICIENT, GC_{pe} (Figure 28.3-1)
 WALL COEFFICIENTS (WORST CASE):
 SURFACE 1 = 0.53 (ACTING TOWARDS SURFACE)
 SURFACE 4 = -0.43 (ACTING AWAY FROM SURFACE)
 ROOF COEFFICIENTS (WORST CASE)
 SURFACE 2 = -0.69 (ACTING AWAY FROM SURFACE)
 SURFACE 3 = -0.48 (ACTING AWAY FROM SURFACE)
 BASED ON ROOF SLOPE, ADJUSTED VERTICAL PRESSURE = -0.27
 IGNORE EFFECTS OF OUTWARD WIND PRESSURE ON SURFACE 3
RESULTS OF COMBINED INTERNAL AND EXTERNAL PRESSURE COEFFICIENTS:
 WALL COEFFICIENT: $GC_{pe} = 0.53 + 0.43 = 0.96$
 ROOF COEFFICIENT: $GC_{pe} = -0.27$
 STEP 7 - DETERMINE WIND PRESSURES ACTING ON MWFRS (VERTICAL PLANE)
 $p = q_h[(GC_{pe}) - (GC_{pi})]$
WALL = (19.6psf)[(0.53 - 0.55) + (-0.43 - 0.55)] = 19.6psf
ROOF = (-0.27)(19.6) = -5.3psf (IGNORE, MOST CONSERVATIVE)

SEISMIC DESIGN
SIMPLIFIED DESIGN PROCEDURE - BASED ON SECTION 12.14, ASCE 7-16
 STEP 1 - USE SIMPLIFIED DESIGN PROCEDURE OUTLINED IN SECTION 12.14.8 - MOST CONSERVATIVE
 STEP 2 - DETERMINE S_{DS} , THE DESIGN SPECTRAL RESPONSE ACCELERATION AT SHORT PERIODS
 $S_{DS} = 2/3F_aS_s$
 WHERE: $F_a = 1.4$ (SOIL SITE)
 $S_s = 1.5$ (MAXIMUM)
 STEP 3 - DETERMINE R, RESPONSE MODIFICATION FACTOR, TABLE 12.14-1 ITEM 13. LIGHT-FRAME (WOOD) WALLS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE
 $R = 6.5$
 STEP 4 - DETERMINE SEISMIC BASE SHEAR, V, SECTION 12.14.8.1
 $V = F S_{DS} W/R$
 WHERE: $F = 1.0$ (ONE STORY ABOVE GRADE PLANE)
 $W =$ EFFECTIVE SEISMIC WEIGHT OF THE STRUCTURE
 $V = (2/3)(1.4)(1.5)W/6.5$
 $V = 0.215W$

DESIGN LOADS

ROOF DEAD LOAD		WALL DEAD LOAD	
ROOF COVERING	10.0PSF	EXTERIOR WALL COVERING	10PSF
15/32" SHEATHING	1.5	15/32" WALL SHEATHING	1.5
ROOF FRAMING	3.5	STUD WALL FRAMING	2.5
INSULATION	2.5	INTERIOR WALL COVERING	3.0
CEILING FRAMING	2.5	MISCELLANEOUS	1.0
CEILING DRYWALL	3.0	WALL DEAD LOAD AT WALL = 18 PSF	
MISCELLANEOUS	2.0		
ROOF DEAD LOAD = 25 PSF			
ROOF LIVE LOAD = 20 PSF			

PROJECT TEAM

OWNER / APPLICANT:
 Applicant to provide on Site Plan

ENGINEER OF RECORD:
 TOM CAMPBELL & ASSOCIATES

GENERAL CONTRACTOR:
 Applicant to provide on Site Plan

DRAFTING:
 GRIT DESIGN GROUP INC.
 20409 YORBA LINDA BLVD, #111
 YORBA LINDA, CA 92886
 (909) 493-7193

PROJECT INFORMATION

EXISTING (E) MAIN RESIDENCE
 ADDRESS:
 APN:
 LEGAL DESCRIPTION:
 ZONE:
 LOT SIZE:
 OCCUPANCY: R-3
 TYPE OF CONSTRUCTION: V-B, NON-SPRINKLERED
 HOUSE:
 GARAGE:
 PORCH / PATIO COVER(S):
 BEDROOM(S):
 BATHROOM(S):
 YEAR BUILT:

PROPOSED (P) DETACHED ADU
 OCCUPANCY: R-3
 TYPE OF CONSTRUCTION: V-B, NON-SPRINKLERED
 REQUIRED REAR YARD SETBACK: 5'
 REQUIRED SIDE YARD SETBACK: 5'
 MAXIMUM HEIGHT: 16'
 ADU: 705 SQ.FT.
 PATIO COVER: 247 SQ.FT.
 BEDROOM(S): 1
 BATHROOM(S): 1

FLOOR AREA RATIO
 MAXIMUM FLOOR AREA RATIO: 50%
 (E) LOT SIZE..... SQ.FT.
 (E) RESIDENCE..... SQ.FT.
 (P) ADU.....484 SQ.FT.
 FLOOR AREA RATIO: -% - **OK!**

LOT COVERAGE
 MAXIMUM LOT COVERAGE: 40%
 (E) LOT SIZE..... SQ.FT.
 (E) RESIDENCE & GARAGE..... SQ.FT.
 (E) PORCH / PATIO COVER(S)..... SQ.FT.
 (P) ADU.....484 SQ.FT.
 (P) PATIO COVER..... SQ.FT.
 TOTAL..... SQ.FT.
 TOTAL LOT COVERAGE: -% - **OK!**



PROJECT
 PROJECT NAME
 PROJECT ADDRESS



DISCLAIMER:
 BY USING THESE PERMIT READY CONSTRUCTION DOCUMENTS, THE RECIPIENT ACKNOWLEDGES, ACCEPTS AND VOLUNTARILY AFFIRMS THE FOLLOWING CONDITIONS:
 1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED FOR: THE PERMIT READY ACCESSORY DWELLING UNIT (ADU) PROGRAM FOR THE CITY OF UPLAND ONLY. THIS IS A LIMITED SET OF STANDARDIZED ADU PLANS AND SPECIFICATIONS APPROVED BY THE CITY OF UPLAND BUILDING DEPARTMENT. BUILDING CODES DO CHANGE OVER TIME AND THE RECIPIENT SHALL ENSURE FULL COMPLIANCE UNDER ALL CODES THEN IN EFFECT AT THE TIME OF THE SUBJECT PERMIT. THIS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. LAMFEI LIN BUILDERS SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS. DO NOT USE THESE CONSTRUCTION DOCUMENTS IF THE PERMIT HAS EXPIRED OR IS REVOKED AT ALL.
 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO LAMFEI LIN BUILDERS. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL BE ATTACHED TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY AND HOLD LAMFEI LIN BUILDERS AND ITS ENGINEER HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR CONDITIONS ARISING OUT OF OR RESULTING THEREFROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, INDIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF LAMFEI LIN BUILDERS OR ITS ENGINEER.
 3. THE DESIGN REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.
 4. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, DO NOT PROCEED WITH THE CONSTRUCTION OF AN ADU OR OTHER IMPROVEMENT UNDER THESE PLANS AT ALL.

PARCEL MAP

VICINITY MAP

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TRADITIONAL STYLE FLOOR PLAN | ELEVATIONS | SCHEDULES
CRAFTSMAN STYLE FLOOR PLAN | ELEVATIONS | SCHEDULES
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ARCHITECTURAL DETAILS

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 2025 CALIFORNIA RESIDENTIAL CODE
 2025 CALIFORNIA MECHANICAL CODE
 2025 CALIFORNIA PLUMBING CODE
 2025 CALIFORNIA ENERGY CODE
 2025 CALIFORNIA GREEN BUILDING STANDARDS
 CITY OF UPLAND MUNICIPAL CODE
 ALL NOTES IN PLAN SHALL ALSO REFER TO 2025 CODES

PROJECT SCOPE
 NEW CONSTRUCTION: CONSTRUCT NEW 484 SQ.FT. DETACHED ADU, SEPARATE UTILITIES FROM MAIN RESIDENCE

SEPARATE PERMIT
 2.94 KWdc MIN. PV SOLAR ARRAY ON ROOF, OPTIONAL, WHERE PERMITTED PER TITLE 24 ENERGY ANALYSIS

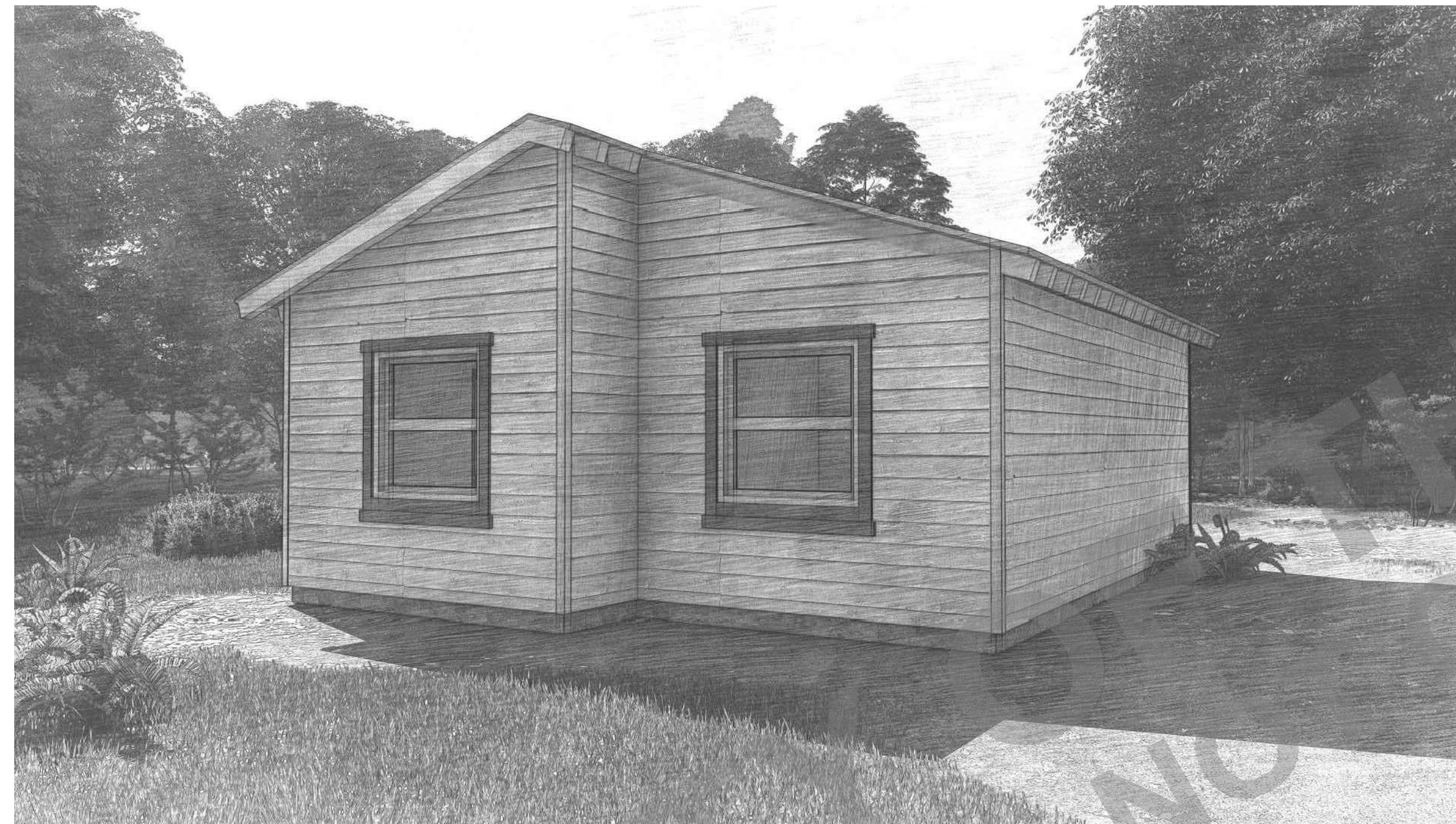
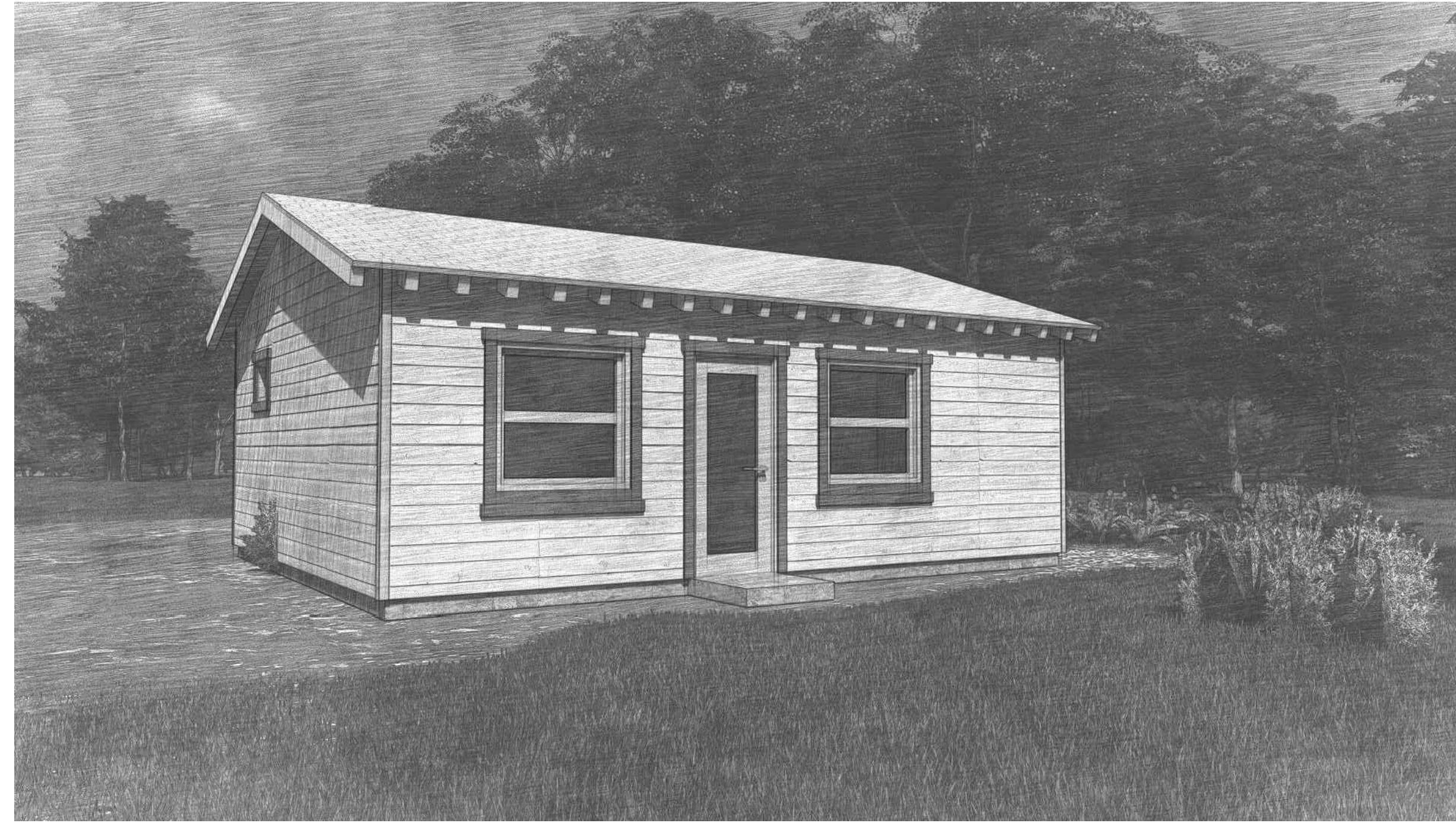
OWNER
 SCALE
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 DATE

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SHEET
CS-T

PROPOSED 484 SQ.FT. DETACHED ACCESSORY DWELLING UNIT (ADU) AT (12345 ST. CITY, STATE ZIP CODE)



DESIGN LOADS

STRUCTURAL DESIGN LOADS

WIND DESIGN - BASED ON PART 1, CHAPTER 28, ASCE7-16

STEP 1 - RISK CATEGORY: II

STEP 2 - BASIC WIND SPEED: 100mph

STEP 3 - WIND LOAD PARAMETERS:

WIND DIRECTIONAL FACTOR: $K_d = 0.85$ (Table 26.6-1)
 EXPOSURE CATEGORY: C (Section 26.7)
 TOPOGRAPHIC FACTOR: $K_{zt} = 1.0$ (Figure 26.8)

GROUND ELEVATION FACTOR: $K_e = 1.0$ (Table 26.9-1)
 ENCLOSURE CLASSIFICATION: PARTIALLY ENCLOSED (WORST CASE) (Section 26.12)

INTERNAL PRESSURE COEFFICIENT:
 $GC_{pi} = +0.55, -0.55$ (Table 26.13-1)

STEP 4 - VELOCITY EXPOSURE PRESSURE COEFFICIENT = 0.90 (h = 20') (Table 26.10-1)

STEP 5 - DETERMINE VELOCITY PRESSURE, q_z, q_h

$q_z, q_h = 0.00257K_zK_{zt}K_dK_eV^2q_s, q_h = 19.6\text{psf}$

STEP 6 - EXTERNAL PRESSURE COEFFICIENT, GC_{pe} (Figure 28.3-1)

WALL COEFFICIENTS (WORST CASE):
 SURFACE 1 = 0.53 (ACTING TOWARDS SURFACE)
 SURFACE 4 = -0.43 (ACTING AWAY FROM SURFACE)

ROOF COEFFICIENTS (WORST CASE)
 SURFACE 2 = -0.69 (ACTING AWAY FROM SURFACE)
 SURFACE 3 = -0.48 (ACTING AWAY FROM SURFACE)

BASED ON ROOF SLOPE, ADJUSTED VERTICAL PRESSURE = -0.27
 IGNORE EFFECTS OF OUTWARD WIND PRESSURE ON SURFACE 3

RESULTS OF COMBINED INTERNAL AND EXTERNAL PRESSURE COEFFICIENTS:

WALL COEFFICIENT: $GC_{pe} = 0.53 + 0.43 = 0.96$

ROOF COEFFICIENT: $GC_{pe} = -0.27$

STEP 7 - DETERMINE WIND PRESSURES ACTING ON MWFRS (VERTICAL PLANE)

$p = q_h[(GC_{pe}) - (GC_{pi})]$

WALL = (19.6psf)[(0.53 - 0.55) + (-0.43 - 0.55)] = 19.6psf

ROOF = (-0.27)(19.6) = -5.3psf (IGNORE, MOST CONSERVATIVE)

SEISMIC DESIGN

SIMPLIFIED DESIGN PROCEDURE - BASED ON SECTION 12.14, ASCE 7-16

STEP 1 - USE SIMPLIFIED DESIGN PROCEDURE OUTLINED IN SECTION 12.14.8 - MOST CONSERVATIVE

STEP 2 - DETERMINE S_{DS} , THE DESIGN SPECTRAL RESPONSE ACCELERATION AT SHORT PERIODS

$S_{DS} = 2/3F_aS_s$

WHERE: $F_a = 1.4$ (SOIL SITE)

$S_s = 1.5$ (MAXIMUM)

STEP 3 - DETERMINE R, RESPONSE MODIFICATION FACTOR, TABLE 12.14-1

ITEM 13. LIGHT-FRAME (WOOD) WALLS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE

$R = 6.5$

STEP 4 - DETERMINE SEISMIC BASE SHEAR, V, SECTION 12.14.8.1

$V = FS_{DS}W/R$

WHERE: $F = 1.0$ (ONE STORY ABOVE GRADE PLANE)

W = EFFECTIVE SEISMIC WEIGHT OF THE STRUCTURE

$V = (2/3)(1.4)(1.5)W/6.5$

$V = 0.215W$

DESIGN LOADS

ROOF DEAD LOAD

ROOF COVERING 10.0PSF
 15/32" SHEATHING 1.5
 ROOF FRAMING 3.5
 INSULATION 2.5
 CEILING FRAMING 2.5
 CEILING DRYWALL 3.0
 MISCELLANEOUS 2.0

ROOF DEAD LOAD = 25 PSF

ROOF LIVE LOAD = 20 PSF

WALL DEAD LOAD

EXTERIOR WALL COVERING 10PSF
 15/32" WALL SHEATHING 1.5
 STUD WALL FRAMING 2.5
 INTERIOR WALL COVERING 3.0
 MISCELLANEOUS 1.0

WALL DEAD LOAD AT WALL = 18 PSF

PROJECT TEAM

OWNER / APPLICANT:
 Applicant to provide on Site Plan

ENGINEER OF RECORD:
 TOM CAMPBELL & ASSOCIATES

GENERAL CONTRACTOR:
 Applicant to provide on Site Plan

DRAFTING:
 GRIT DESIGN GROUP INC.
 20409 YORBA LINDA BLVD, #111
 YORBA LINDA, CA 92886
 (909) 493-7193

PROJECT INFORMATION

EXISTING (E) MAIN RESIDENCE

ADDRESS:
 APN:
 LEGAL DESCRIPTION:
 ZONE:
 LOT SIZE:
 OCCUPANCY: R-3
 TYPE OF CONSTRUCTION:
 HOUSE:
 GARAGE:
 PORCH / PATIO COVER(S):
 BEDROOM(S):
 BATHROOM(S):
 YEAR BUILT:

PROPOSED (P) DETACHED ADU

OCCUPANCY: R-3
 TYPE OF CONSTRUCTION: V-B, NON-SPRINKLERED
 REQUIRED REAR YARD SETBACK: 5'
 REQUIRED SIDE YARD SETBACK: 5'
 MAXIMUM HEIGHT: 16'
 ADU: 484 SQ.FT.
 PATIO COVER:
 BEDROOM(S): 1
 BATHROOM(S): 1

FLOOR AREA RATIO

MAXIMUM FLOOR AREA RATIO: 50%

(E) LOT SIZE..... SQ.FT.
 (E) RESIDENCE..... SQ.FT.
 (P) ADU.....484 SQ.FT.
 FLOOR AREA RATIO: -% - *OK!*

LOT COVERAGE

MAXIMUM LOT COVERAGE: 40%

(E) LOT SIZE..... SQ.FT.
 (E) RESIDENCE & GARAGE..... SQ.FT.
 (E) PORCH / PATIO COVER(S)..... SQ.FT.
 (P) ADU.....484 SQ.FT.
 (P) PATIO COVER..... SQ.FT.
 TOTAL..... SQ.FT.
 TOTAL LOT COVERAGE: -% - *OK!*



PROJECT
 PROJECT NAME
 PROJECT ADDRESS



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PARCEL MAP

VICINITY MAP

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2025 CALIFORNIA BUILDING CODE
 2025 CALIFORNIA RESIDENTIAL CODE
 2025 CALIFORNIA MECHANICAL CODE
 2025 CALIFORNIA PLUMBING CODE
 2025 CALIFORNIA ENERGY CODE
 2025 CALIFORNIA GREEN BUILDING STANDARDS
 CITY OF UPLAND MUNICIPAL CODE
 ALL NOTES IN PLAN SHALL ALSO REFER TO 2025 CODES

NEW CONSTRUCTION: CONSTRUCT NEW 484 SQ.FT. DETACHED ADU, SEPARATE UTILITIES FROM MAIN RESIDENCE

2.94 Kwdc MIN. PV SOLAR ARRAY ON ROOF, OPTIONAL, WHERE PERMITTED PER TITLE 24 ENERGY ANALYSIS

OWNER
 SCALE
 PROJECT NO.
 DATE

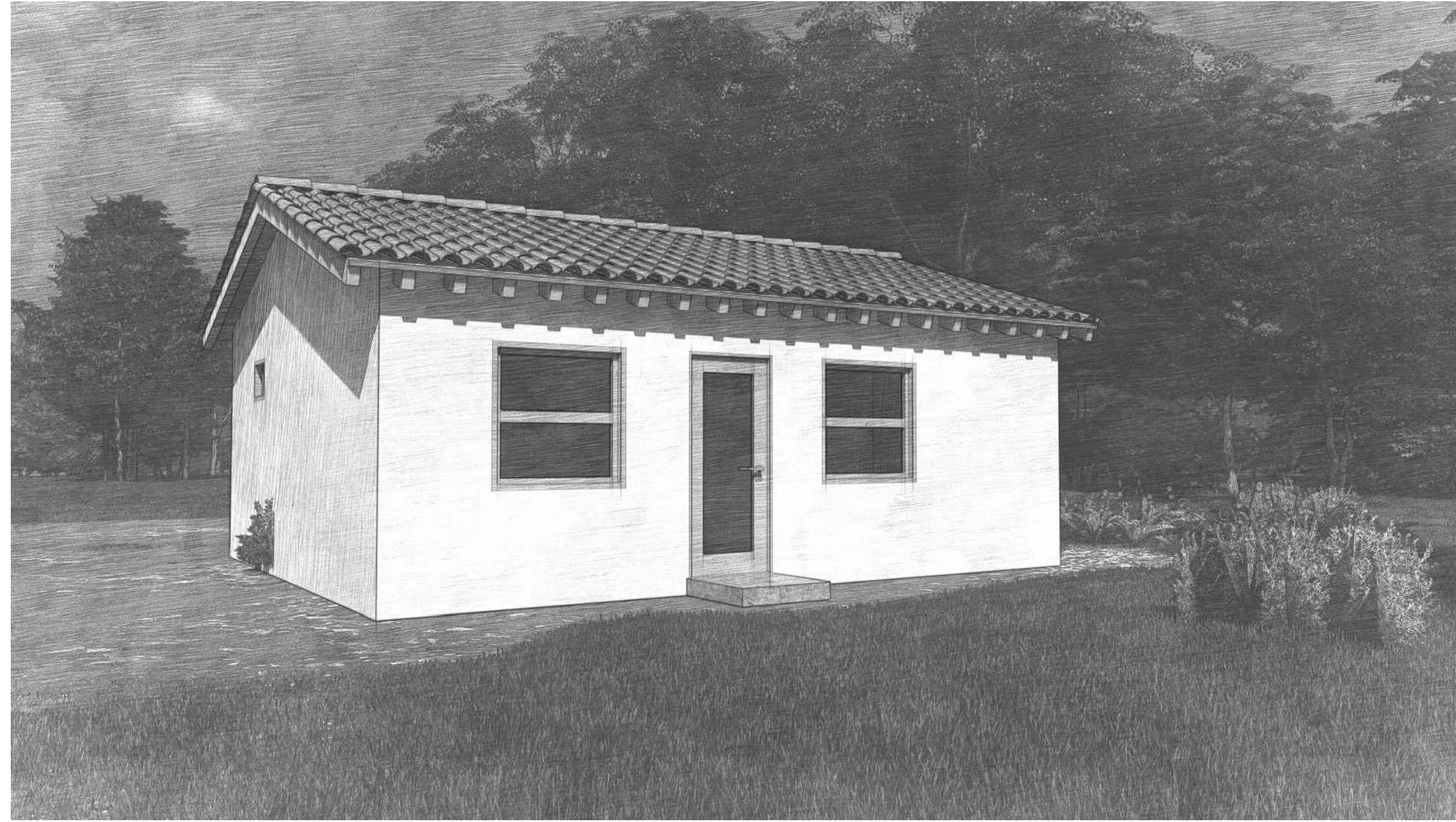
STYLE

DESCRIPTION
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SHEET

CS-C

PROPOSED 484 SQ.FT. DETACHED ACCESSORY DWELLING UNIT (ADU)



DESIGN LOADS

STRUCTURAL DESIGN LOADS
WIND DESIGN - BASED ON PART 1, CHAPTER 28, ASCE 7-16
 STEP 1 - RISK CATEGORY: II
 STEP 2 - BASIC WIND SPEED: 100mph
 STEP 3 - WIND LOAD PARAMETERS:
 WIND DIRECTIONAL FACTOR: $K_d = 0.85$ (Table 26.6-1)
 EXPOSURE CATEGORY: C (Section 26.7)
 TOPOGRAPHIC FACTOR: $K_{zt} = 1.0$ (Figure 26.8)
 GROUND ELEVATION FACTOR: $K_e = 1.0$ (Table 26.9-1)
 ENCLOSURE CLASSIFICATION: **PARTIALLY ENCLOSED (WORST CASE)** (Section 26.12)
 INTERNAL PRESSURE COEFFICIENT:
 $GC_{pi} = +0.55, -0.55$ (Table 26.13-1)
 STEP 4 - VELOCITY EXPOSURE PRESSURE
 COEFFICIENT = **0.90** (h = 20') (Table 26.10-1)
 STEP 5 - DETERMINE VELOCITY PRESSURE, q_z, q_h
 $q_z, q_h = 0.00257K_zK_eK_dV^2$
 $q_z, q_h = 19.6\text{psf}$
 STEP 6 - EXTERNAL PRESSURE COEFFICIENT, GC_{pe} (Figure 28.3-1)
 WALL COEFFICIENTS (WORST CASE):
 SURFACE 1 = 0.53 (ACTING TOWARDS SURFACE)
 SURFACE 4 = -0.43 (ACTING AWAY FROM SURFACE)
 ROOF COEFFICIENTS (WORST CASE)
 SURFACE 2 = -0.69 (ACTING AWAY FROM SURFACE)
 SURFACE 3 = -0.48 (ACTING AWAY FROM SURFACE)
HORIZONTAL WINDWARD PRESSURE = -1.38 (= -0.69/TAN 26.6°)
HORIZONTAL LEEWARD PRESSURE = -0.96 (= -0.48/TAN 26.6°)

RESULTS OF COMBINED INTERNAL AND EXTERNAL PRESSURE COEFFICIENTS:
 WALL COEFFICIENT: $GC_{pe} = 0.53, -0.43$
 ROOF COEFFICIENT: $GC_{pe} = -1.38, -0.96$
 STEP 7 - DETERMINE WIND PRESSURES ACTING ON MWFRS (VERTICAL PLANE)
 $p = q_z[GC_{pe}] - (GC_{pi})$
WALL (WINDWARD) = (19.6psf)[(0.53 - (-0.55))] = 21.2psf
WALL (LEEWARD) = (19.6)[(0.43 - (-0.55))] = 19.2psf
ROOF (WINDWARD) = (-1.38)(19.6psf) = 27.2psf
ROOF (LEEWARD) = (-0.96)(19.6psf) = 18.8psf

SEISMIC DESIGN
SIMPLIFIED DESIGN PROCEDURE - BASED ON SECTION 12.14, ASCE 7-16
 STEP 1 - USE SIMPLIFIED DESIGN PROCEDURE OUTLINED IN SECTION 12.14.8 - MOST CONSERVATIVE
 STEP 2 - DETERMINE S_{DS} , THE DESIGN SPECTRAL RESPONSE ACCELERATION AT SHORT PERIODS

$S_{DS} = 2/3F_aS_s$
 WHERE
 $F_a = 1.4$ (SOIL SITE)
 $S_s = 1.5$ (MAXIMUM)

STEP 3 - DETERMINE R, RESPONSE MODIFICATION FACTOR, TABLE 12.14-1
 ITEM 13. LIGHT-FRAME (WOOD) WALLS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE
 $R = 6.5$

STEP 4 - DETERMINE SEISMIC BASE SHEAR, V, SECTION 12.14.8.1
 $V = F S_{DS} W/R$

WHERE
 $F = 1.0$ (ONE STORY ABOVE GRADE PLANE)
 $W =$ EFFECTIVE SEISMIC WEIGHT OF THE STRUCTURE
 $V = (2/3)(1.4)(1.5)W/6.5$
 $V = 0.215W$

DESIGN LOADS

ROOF DEAD LOAD		WALL DEAD LOAD	
ROOF COVERING	10.0PSF	EXTERIOR WALL COVERING	10PSF
15/32" SHEATHING	1.5	15/32" WALL SHEATHING	1.5
ROOF FRAMING	3.5	STUD WALL FRAMING	2.5
INSULATION	2.5	INTERIOR WALL COVERING	3.0
CEILING FRAMING	2.5	MISCELLANEOUS	1.0
CEILING DRYWALL	3.0	WALL DEAD LOAD AT WALL = 18 PSF	
MISCELLANEOUS	2.0		
ROOF DEAD LOAD = 25 PSF			
ROOF LIVE LOAD = 20 PSF			

PROJECT TEAM

OWNER / APPLICANT:
 Applicant to provide on Site Plan
 ENGINEER OF RECORD:
 TOM CAMPBELL & ASSOCIATES, INC.
 GNFRAI CONTRACTOR:
 Applicant to provide on Site Plan

PROJECT INFORMATION

EXISTING (E) MAIN RESIDENCE
 ADDRESS:
 APN:
 LEGAL DESCRIPTION:
 ZONE:
 LOT SIZE:
 OCCUPANCY:
 TYPE OF CONSTRUCTION:
 HOUSE:
 GARAGE:
 PORCH / PATIO COVER(S):
 BEDROOM(S):
 BATHROOM(S):
 YEAR BUILT:
PROPOSED (P) DETACHED ADU
 OCCUPANCY: R-3
 TYPE OF CONSTRUCTION: V-B, NON-SPRINKLERED
 REQUIRED REAR YARD SETBACK: 5'
 REQUIRED SIDE YARD SETBACK: 5'
 MAXIMUM HEIGHT: 16'
 ADU: 484 SQ.FT.
 PATIO COVER:
 BEDROOM(S): 1
 BATHROOM(S): 1
FLOOR AREA RATIO
 MAXIMUM FLOOR AREA RATIO: 50%
 (E) LOT SIZE..... SQ.FT.
 (E) RESIDENCE..... SQ.FT.
 (P) ADU.....484 SQ.FT.
 FLOOR AREA RATIO: -% - **OK!**

LOT COVERAGE
 MAXIMUM LOT COVERAGE: 40%
 (E) LOT SIZE..... SQ.FT.
 (E) RESIDENCE & GARAGE..... SQ.FT.
 (E) PORCH / PATIO COVER(S)..... SQ.FT.
 (P) ADU.....484 SQ.FT.
 (P) PATIO COVER..... SQ.FT.
 TOTAL..... SQ.FT.
 TOTAL LOT COVERAGE: -% - **OK!**



PROJECT
 PROJECT NAME
 PROJECT ADDRESS



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PARCEL MAP

VICINITY MAP

SHEET INDEX

APPLICABLE CODES

CS-T	TRADITIONAL STYLE PROJECT INFORMATION SHEET INDEX
CS-C	CRAFTSMAN STYLE PROJECT INFORMATION SHEET INDEX
CS-S	SPANISH STYLE PROJECT INFORMATION SHEET INDEX
SP	SITE PLAN
T24-1	TITLE 24 ENERGY ANALYSIS
T24-2	TITLE 24 ENERGY ANALYSIS
T24-3	2022 RESIDENTIAL MANDATORY REQUIREMENTS
GB-1	GREEN BUILDING STANDARDS
GB-2	GREEN BUILDING STANDARDS
A0.0	BEST MANAGEMENT PRACTICES APPLICATION OF GYPSUM BOARD FIRE BLOCKING NOTES
A1.0-T	TRADITIONAL STYLE FLOOR PLAN ELEVATIONS SCHEDULES
A1.0-C	CRAFTSMAN STYLE FLOOR PLAN ELEVATIONS SCHEDULES
A1.0-S	SPANISH STYLE FLOOR PLAN ELEVATIONS SCHEDULES
UT-1	UTILITY NOTES UTILITY LAYOUT PLAN
UT-2	UTILITY DETAILS
S1	ROOF FRAMING PLAN FOUNDATION PLAN SECTIONS
S2	MINIMUM CONSTRUCTION REQUIREMENTS GENERAL NOTES
SD1	STRUCTURAL DETAILS
SD2	ARCHITECTURAL DETAILS
SD3	ARCHITECTURAL DETAILS

2025 CALIFORNIA BUILDING CODE
 2025 CALIFORNIA RESIDENTIAL CODE
 2025 CALIFORNIA MECHANICAL CODE
 2025 CALIFORNIA PLUMBING CODE
 2025 CALIFORNIA ENERGY CODE
 2025 CALIFORNIA GREEN BUILDING STANDARDS
 CITY OF UPLAND MUNICIPAL CODE
 ALL NOTES IN PLAN SHALL ALSO REFER TO 2025 CODES

PROJECT SCOPE

NEW CONSTRUCTION: CONSTRUCT NEW 484 SQ.FT. DETACHED ADU, SEPARATE UTILITES FROM MAIN RESIDENCE

SEPARATE PERMIT

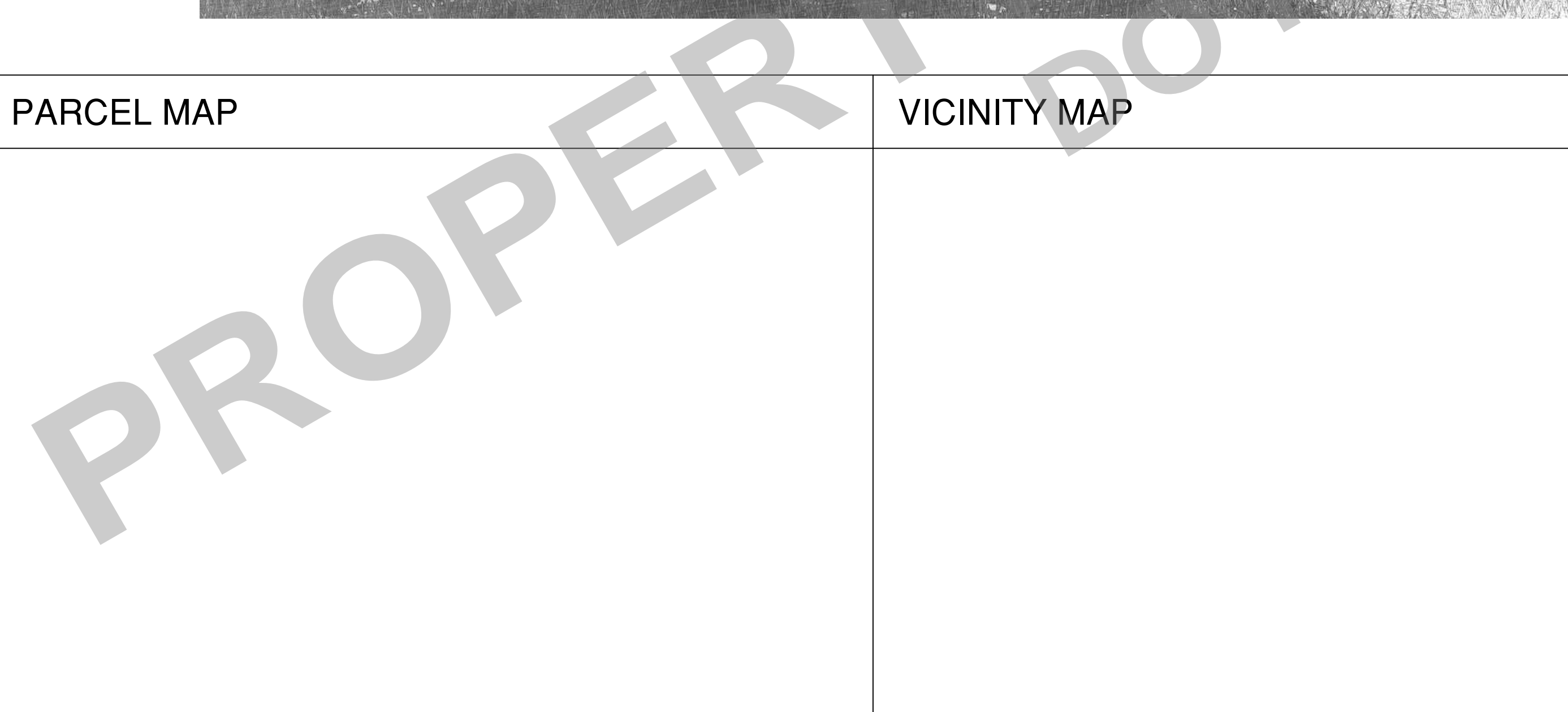
2.94 Kwdc MIN. PV SOLAR ARRAY ON ROOF, OPTIONAL, WHERE PERMITTED PER TITLE 24 ENERGY ANALYSIS

OWNER
 SCALE
 PROJECT NO.
 DATE

STYLE

DESCRIPTION
PROJECT INFORMATION | SHEET INDEX | PARCEL & VICINITY MAP

SHEET
CS-S





PROJECT
PROJECT NAME
PROJECT ADDRESS



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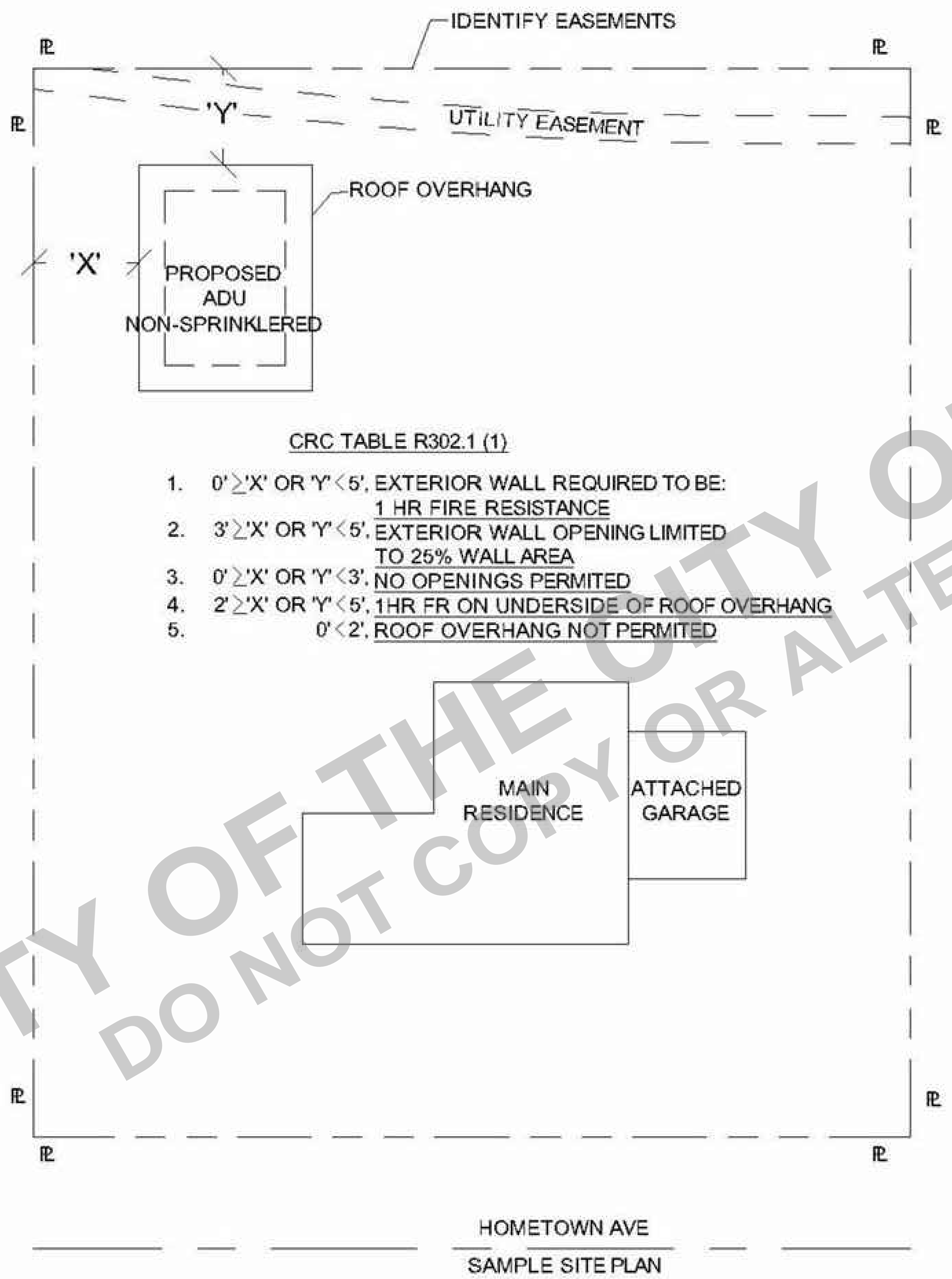
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OWNER
SCALE
PROJECT NO. 230023
DATE 08-09-2023

STYLE

DESCRIPTION
SITE PLAN

SHEET
SP



PROPERTY OF THE CITY OF UPLAND
DO NOT COPY OR ALTER

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 484 SQFT ADU
 Calculation Date/Time: 2025-01-29T12:08:40-08:00
 Calculation Description: Title 24 Analysis
 Input File Name: 484 SQFT ADU.rbd22x

CF1R-PRF-01-E

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GENERAL INFORMATION			
01	Project Name	484 SQFT ADU	
02	Run Title	Title 24 Analysis	
03	Project Location		
04	City	05	Standards Version
06	Zip code	07	Software Version
08	Climate Zone	09	Front Orientation (deg/ Cardinal)
10	Building Type	11	Number of Dwelling Units
12	Project Scope	13	Number of Bedrooms
14	Addition Cond. Floor Area (ft ²)	15	Number of Stories
16	Existing Cond. Floor Area (ft ²)	17	Fenestration Average U-factor
18	Total Cond. Floor Area (ft ²)	19	Glazing Percentage (%)
20	ADU Bedroom Count	21	ADU Conditioned Floor Area
22	Fuel Type	23	No Dwelling Unit

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

Registration Number: 425-P010032525A-000-000-0000000-0000
 Registration Date/Time: 01/31/2025 10:19
 HERS Provider: CHEERS
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 Report Version: 2022.0.000
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ENERGY DESIGN RATINGS	Energy Design Ratings			Compliance Margins		
	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)	Source Energy (EDR1)	Efficiency ¹ EDR (EDR2efficiency)	Total ² EDR (EDR2total)
	Standard Design	39.7	40.6	62.2		
Proposed Design	39.7	39.2	61.3	0	1.4	0.9
RESULT ³ : PASS						
¹ Efficiency EDR includes improvements like a better building envelope and more efficient equipment ² Total EDR includes efficiency and demand response measures such as photovoltaic (PV) system and batteries ³ Building complies when source energy, efficiency and total compliance margins are greater than or equal to zero and unmet load hour limits are not exceeded * Standard Design PV Capacity: 0.00 kWdc						

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ENERGY USE SUMMARY						
Energy Use	Standard Design Source Energy (EDR1) (kBtu/ft ² -yr)	Standard Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Proposed Design Source Energy (EDR1) (kBtu/ft ² -yr)	Proposed Design TDV Energy (EDR2) (kTDV/ft ² -yr)	Margin (EDR1)	Margin (EDR2)
Space Heating	0.68	3.21	2.76	20.07	-2.08	-16.86
Space Cooling	2.08	42.92	1.35	33.43	0.73	9.49
IAQ Ventilation	0.47	4.93	0.47	4.93	0	0
Water Heating	3.8	38.66	2.53	28.1	1.27	10.56
Self Utilization/Flexibility Credit			0	0	0	0
Efficiency Compliance Total	7.03	89.72	7.11	86.53	-0.08	3.19
Photovoltaics	0	0	0	0		
Battery			0	0		
Flexibility			0			
Indoor Lighting	1.19	11.49	1.19	11.49		
Appl. & Cooking	7.19	85.5	7.11	84.66		
Plug Loads	7.46	76.29	7.46	76.29		
Outdoor Lighting	0.23	2.05	0.23	2.05		
TOTAL COMPLIANCE	23.1	265.05	23.1	261.02		

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WHEN USING THE INCLUDED ENERGY REPORT WITH THIS PERMIT READY CONSTRUCTION DOCUMENT, CONTACT TITLE 24 EXPERTS AT INFOR@TITLE24EXPERTS.COM AND REQUEST A SITE-SPECIFIC ENERGY REPORT FOR YOUR PERMIT APPLICATION.

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

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ENERGY USE INTENSITY				
	Standard Design (kBtu/ft ² -yr)	Proposed Design (kBtu/ft ² -yr)	Margin (kBtu/ft ² -yr)	Margin Percentage
Gross EUI ¹	32.18	31.07	1.11	3.45
Net EUI ²	32.18	31.07	1.11	3.45

Notes
 1. Gross EUI is Energy Use Total (not including PV) / Total Building Area.
 2. Net EUI is Energy Use Total (including PV) / Total Building Area.

REQUIRED PV SYSTEMS											
01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt Input	Array Angle (deg)	Tilt: (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)
0	No PV - required PV less than 1.8kWdc	Standard (14-17%)	Fixed	none	true	n/a	n/a	n/a	n/a	n/a	n/a

REQUIRED SPECIAL FEATURES	
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.	
<ul style="list-style-type: none"> PV exception 2: No PV required when minimum PV size (Section 150.1(1)(14) < 1.8 kWdc (0 kW) Variable capacity heat pump compliance option (verification details from VCHP-Stuff report, Appendix B, and RA3) Northwest Energy Efficiency Alliance (NEEA) rated heat pump with heater, specific brand/model, or equivalent, must be installed 	

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CF1R-PRF-01-E

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HERS FEATURE SUMMARY						
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry						
<ul style="list-style-type: none"> Quality insulation installation (QII) Indoor air quality ventilation Kitchen range hood Verified EER/EER2 Verified SEER/SEER2 Verified Refrigerant Charge Airflow in habitable rooms (SC3.1.4.1.7) Verified HSPF2 Verified heat pump rated heating capacity Wall-mounted thermostat in zones greater than 150 ft2 (SC3.4.5) Ductless indoor units located entirely in conditioned space (SC3.1.4.1.8) 						

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
484 SQFT ADU	484	1	1	1	0	1

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Status
PROPOSED ADU	Conditioned	New Mini split1	484	8	DHW Sys 1	New

OPAQUE SURFACES							
01	02	03	04	05	06	07	08
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft2)	Tilt (deg)
FRONT Wall	PROPOSED ADU	R-15 Wall	0	Front	200	52	90
BACK Wall	PROPOSED ADU	R-15 Wall	180	Back	200	0	90
RIGHT Wall	PROPOSED ADU	R-15 Wall	90	Left	80	14	90

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CF1R-PRF-01-E

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OPAQUE SURFACES							
01	02	03	04	05	06	07	08
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft2)	Tilt (deg)
BACK Wall 2	PROPOSED ADU	R-15 Wall	180	Back	24	0	90
RIGHT Wall 2	PROPOSED ADU	R-15 Wall	90	Left	84.64	16	90
LEFT Wall	PROPOSED ADU	R-15 Wall	270	Right	164	3	90

OPAQUE SURFACES - CATHEDRAL CEILINGS										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Area (ft ²)	Skylight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof
Roof	PROPOSED ADU	R-30 Roof No Attic	0	Front	484	0	4	0.1	0.85	No

FENESTRATION / GLAZING													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
Window-A	Window	FRONT Wall	Front	0			1	15	0.3	NFRC	0.25	NFRC	Bug Screen
Window-A 2	Window	FRONT Wall	Front	0			1	16	0.3	NFRC	0.25	NFRC	Bug Screen
Door-1	Window	FRONT Wall	Front	0			1	20	0.87	NFRC	0.7	NFRC	Bug Screen
Window-B	Window	RIGHT Wall	Left	90			1	14	0.3	NFRC	0.25	NFRC	Bug Screen
Window-A 3	Window	RIGHT Wall 2	Left	90			1	16	0.3	NFRC	0.25	NFRC	Bug Screen
Window-C	Window	LEFT Wall	Right	270			1	3	0.3	NFRC	0.25	NFRC	Bug Screen

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970-546-2387
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PROJECT NAME
 PROJECT ADDRESS



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OWNER
 SCALE
 PROJECT NO. 230023
 DATE 08-09-2023

STYLE

DESCRIPTION
TITLE 24 ENERGY CALCULATIONS

SHEET
T24-1

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 484 SQFT ADU
 Calculation Date/Time: 2025-01-29T12:08:40-08:00
 Calculation Description: Title 24 Analysis
 Input File Name: 484 SQFT ADU.rbd22x

CF1R-PRF-01-E
 (Page 7 of 10)

01	02	03	04	05	06	07	08
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated
Slab-on-Grade	PROPOSED ADU	484	92	none	0	80%	No

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco
R-30 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x10 @ 16 in. O. C.	R-30	None / None	0.037	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-30 / 2x10 Inside Finish: Gypsum Board

01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

Registration Number: 425-P010032525A-000-000-0000000-0000
 Registration Date/Time: 01/31/2025 10:19
 HERS Provider: CHEERS
 CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Report Version: 2022.0.000
 Schema Version: rev 20220901

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: 484 SQFT ADU
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CF1R-PRF-01-E
 (Page 8 of 10)

01	02	03	04	05	06	07	08	09
Name	System Type	Distribution Type	Water Heater Name	Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)
DHW Sys 1	Domestic Hot Water (DHW)	Standard	DHW Heater 1	1	n/a	None	n/a	DHW Heater 1 (1)

01	02	03	04	05	06	07	08
Name	# of Units	Tank Vol. (gal)	NEEA Heat Pump Brand	NEEA Heat Pump Model	Tank Location	Duct Inlet Air Source	Duct Outlet Air Source
DHW Heater 1	1	40	Rheem	PROPH40 T2 RH37530 (40 gal, JA13)	Outside	PROPOSED ADU	PROPOSED ADU

01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required

01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
New Mini split1	Heat pump heating cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

Registration Number: 425-P010032525A-000-000-0000000-0000
 Registration Date/Time: 01/31/2025 10:19
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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

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CF1R-PRF-01-E
 (Page 9 of 10)

01	02	03	04	05	06	07	08	09	10	11	12	13
Name	System Type	Number of Units	Heating Efficiency Type	HSPF/HSPF2/COP	Cap 47	Cap 17	Cooling Efficiency Type	SEER/SEER2	EER/EER2/CEER	Zonally Controlled	Compressor Type	HERS Verification
Heat Pump System 1	VCHP-ductless	1	HSPF2	9	12000	9000	EER2/SEER2	16	12	Not Zonal	Single Speed	Heat Pump System 1-HERS-HPsystem

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER/EER2	Verified SEER/SEER2	Verified Refrigerant Charge	Verified HSPF/HSPF2	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-HERS-HPsystem	Not Required	0	Required	Required	Yes	Yes	Yes	Yes

01	02	03	04	05	06	07	08	09	10
Name	Certified Low-Static VCHP System	Airflow to Habitable Rooms	Ductless Units in Conditioned Space	Wall Mount Thermostat	Air Filter Sizing & Pressure Drop Rating	Low Leakage Ducts in Conditioned Space	Minimum Airflow per RA3.3 and SC3.3.3.4.1	Certified non-continuous Fan	Indoor Fan not Running Continuously
Heat Pump System 1	Not required	Required	Required	Required	Not required	Not required	Not required	Not required	Not required

01	02	03	04	05	06	07	08	09
Dwelling Unit	Airflow (CFM)	Fan Efficacy (W/CFM)	IAQ Fan Type	Includes Heat/Energy Recovery?	IAQ Recovery Effectiveness - SRE/ASRE	Includes Fault Indicator Display?	HERS Verification	Status
Sfam IAQventRpt	29	0.35	Exhaust	No	n/a / n/a	No	Yes	

Registration Number: 425-P010032525A-000-000-0000000-0000
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CF1R-PRF-01-E
 (Page 10 of 10)

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: Maral Rahmani	Documentation Author Signature:
Company: Title24 Experts	Signature Date: 01/31/2025
Address: 7518 Jumilla Ave. Winnetka, CA 91306	CEA/HERS Certification Identification (if applicable): 3105044878
City/State/Zip: Winnetka, CA 91306	Phone: 3105044878
RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify the following under penalty of perjury, under the laws of the State of California:	
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance. 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.	
Responsible Designer Name: Maral Rahmani	Responsible Designer Signature:
Company: Title24 Experts	Date Signed: 01/31/2025
Address: 7518 Jumilla Ave. Winnetka, CA 91306	License: M-35134
City/State/Zip: Winnetka, CA 91306	Phone: 3105044878

Digitally signed by California Home Energy Efficiency Rating Services (CHEERS). This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 425-P010032525A-000-000-0000000-0000
 Registration Date/Time: 01/31/2025 10:19
 HERS Provider: CHEERS
 CA Building Energy Efficiency Standards - 2022 Residential Compliance
 Report Version: 2022.0.000
 Schema Version: rev 20220901



970-546-2387
 lfbuilders.com

PROJECT
 PROJECT NAME

PROJECT ADDRESS



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OWNER
 SCALE
 PROJECT NO. 230023
 DATE 08-09-2023

STYLE

DESCRIPTION
TITLE 24 ENERGY CALCULATIONS

SHEET
T24-2

BUILDING ENERGY ANALYSIS REPORT

PROJECT:
484 SQFT ADU
CA

Project Designer:
TOM CAMPBELL & ASSOCIATES, INC.
5331 GALLOWAY ST.
ALTA LOMA, CA 91701
(951) 741-2107

Report Prepared by:
Maral Rahmani
7518 JUMILLA AVE.
WINNETKA, CA 91306
818-561-9333

Job Number:
75-250128-02
Date:
1/29/2025

The EnergyPro computer program has been used to perform the calculations summarized in this compliance report. This program has approval and is authorized by the California Energy Commission for use with both the Residential and Nonresidential 2022 Building Energy Efficiency Standards.

This program developed by EnergySoft, LLC - www.energysoft.com.

RESIDENTIAL MEASURES SUMMARY

Table with 4 columns: Project Name, Building Type, Date, and Project Address. Values include 484 SQFT ADU, Single Family, 1/29/2025, and CA Climate Zone 10.

Table with 4 columns: Construction Type, Cavity, Area, and Status. Rows include Wall, Slab, and Roof with details on insulation and materials.

FENESTRATION

Table with 6 columns: Orientation, Area, U-Fac, SHGC, Overhang, Sidelights, and Status. Rows include Front (N), Front (S), Left (E), and Right (W).

HVAC SYSTEMS

Table with 5 columns: Qty, Heating, Min. Eff, Cooling, Min. Eff, Thermostat, and Status. Row 1: Electric Heat Pump, 9.00 HSPF2, Split Heat Pump, 16.0 SEER2, Setback, New.

HVAC DISTRIBUTION

Table with 6 columns: Location, Heating, Cooling, Duct Location, Duct R-Value, and Status. Row 1: New Mini split, Ducted, Ducted, n/a, n/a, New.

WATER HEATING

Table with 5 columns: Qty, Type, Gallons, Min. Eff, Distribution, and Status. Row 1: Heat Pump, 40, 3.10, Standard, New.

EnergyPro 9.3 by EnergySoft User Number: 20127 ID: 75-250128-02 Page 12 of 18



2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information.

Building Envelope:

- § 110.6(a)1: Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283, or AAMA/WDMA/CA 1011.5.2/440-2011.
§ 110.6(a)5: Labeling. Fenestration products and exterior doors must have a label meeting the requirements of § 10-111(a).

- § 150.0(a): Roof Deck, Ceiling and Rafters. Roof decks in newly constructed attics in climate zones 4 and 8-16 area-weighted average U-factor not exceeding U-0.184. Ceiling and rafter roofs minimum R-22 insulation in wood-frame ceilings or area-weighted average U-factor must not exceed 0.043.
§ 150.0(b): Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less.

Fireplaces, Decorative Gas Appliances, and Gas Log:

- § 110.5(e): Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.
§ 150.0(e)1: Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.

Space Conditioning, Water Heating, and Plumbing System:

- § 110.0-§ 110.3: Certification. Heating, ventilation, and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission.
§ 110.2(a): HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2.A through Table 110.2.N.



2022 Single-Family Residential Mandatory Requirements Summary

- § 110.5: Pilot Lights. Continuously burning pilot lights are prohibited for natural gas fan-type central furnaces, household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool and spa heaters.
§ 150.0(h)1: Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.

Ducts and Fans:

- § 110.8(d)3: Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC). If a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
§ 150.0(m)1: CMV Compliance. All air-distribution system ducts and plenums must meet CMC §§ 601.0-605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition.
§ 150.0(m)2: Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tape unless such tape is used in combination with mastic and draw bands.



2022 Single-Family Residential Mandatory Requirements Summary

- § 150.0(v)13: Space Conditioning System Airflow Rate and Fan Efficiency. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficiency ≥ 0.45 watts per CFM for gas furnace air handlers and ≥ 0.58 watts per CFM for all others.

Ventilation and Indoor Air Quality:

- § 150.0(o)1: Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1.
§ 150.0(o)1B: Central Fan Integrated (CFI) Ventilation Systems. Continuous operation of CFI air handlers is not allowed to provide the whole-dwelling unit ventilation airflow required per § 150.0(o)1C.

Pool and Spa Systems and Equipment:

- § 110.4(a): Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: compliance with the Appliance Efficiency Regulations and listing in MAECDS; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat settings; a permanent weatherproof plate or card with operating instructions; and must use electric resistance heating.
§ 110.4(b)1: Piping. Any pool or spa heating system or equipment must be installed with at least 3/8 inches of pipe between the filter and the heater, or dedicated suction and return lines, or ball-valve or ball-pump connections to allow for future solar heating.

Lighting:

- § 110.9: Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9.
§ 150.0(k)1A: Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A, except lighting integral to exhaust fans, kitchen range hoods, bathroom mirrors, and garage door openers; navigation lighting less than 5 watts; and lighting integral to drawers, cabinets, and linen closets with an efficacy of at least 45 lumens per watt.



2022 Single-Family Residential Mandatory Requirements Summary

- § 150.0(k)1G: Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.
§ 150.0(k)1H: Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)1I: Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are not to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.

Solar Readiness:

- § 110.10(a)1: Single-Family Residences. Single-family residences located in subdivisions with 10 or more single-family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b)-(e).
§ 110.10(b)1: Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction.



2022 Single-Family Residential Mandatory Requirements Summary

- § 150.0(s): Energy Storage System (ESS) Ready. All single-family residences must meet all of the following: Either ESS-ready interconnection equipment with backed up capacity of 60 amps or four or more ESS supplied branch circuits, or a dedicated raceway from the main service (a) a subpanel that supplies the branch circuits at § 150.0(s) at least four branch circuits must be identified and have their source collocated at a single panelboard suitable to be supplied by the ESS, with one circuit supplying the refrigerator, one lighting circuit near the primary exit, and one circuit supplying a sleeping room receptacle outlet; main panelboard must have a minimum busbar rating of 225 amps; sufficient space must be reserved to allow future installation of a system isolation equipment/transfer switch within 3' of the main panelboard, with raceways installed between the panelboard and the switch location to allow the connection of backup power source.
§ 150.0(t): Heat Pump Space Heater Drier. Systems using gas or propane furnaces to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the furnace with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready"; and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."

Electric Cooktop Ready. Systems using gas or propane cooktops to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the cooktop with circuit conductors rated at least 50 amps with the blank cover identified as "240V ready"; and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."

Electric Clothes Dryer Drier. Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready"; and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."

Electric Clothes Dryer Drier. Clothes dryer locations with gas or propane plumbing to serve individual dwelling units must include: A dedicated unobstructed 240V branch circuit wiring installed within 3' of the dryer location with circuit conductors rated at least 30 amps with the blank cover identified as "240V ready"; and a reserved main electrical service panel space to allow for the installation of a double pole circuit breaker permanently marked as "For Future 240V use."

Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must have a manual on/off switch and either a photocell and motion sensor or automatic time switch control) or an astronomical time clock. An energy management control system that provides the specified control functionality and meets all applicable requirements may be used to meet these requirements.

Internally Illuminated Address Signs. Internally illuminated address signs must either comply with § 140.8 or consume no more than 5 watts of power.

Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 133.A, 140.6, and 141.0.

Single-Family Residences. Single-family residences located in subdivisions with 10 or more single-family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b)-(e).

Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction.

Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the horizontal distance of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.

Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.

Interconnection Pathways. The construction documents must indicate a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single-family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.

Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b)-(c) must be provided to the occupant.

Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.

Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric."

Electric and Energy Storage Ready:

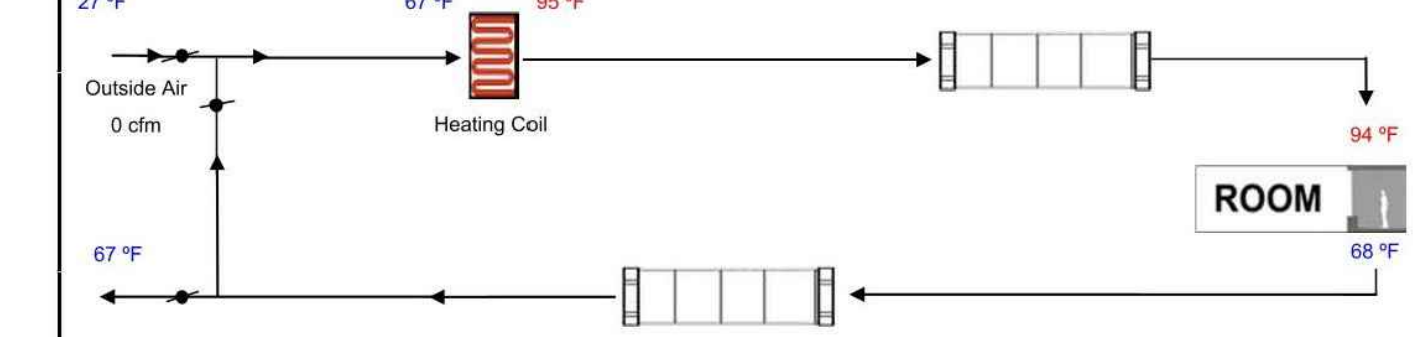
5/6/22

HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

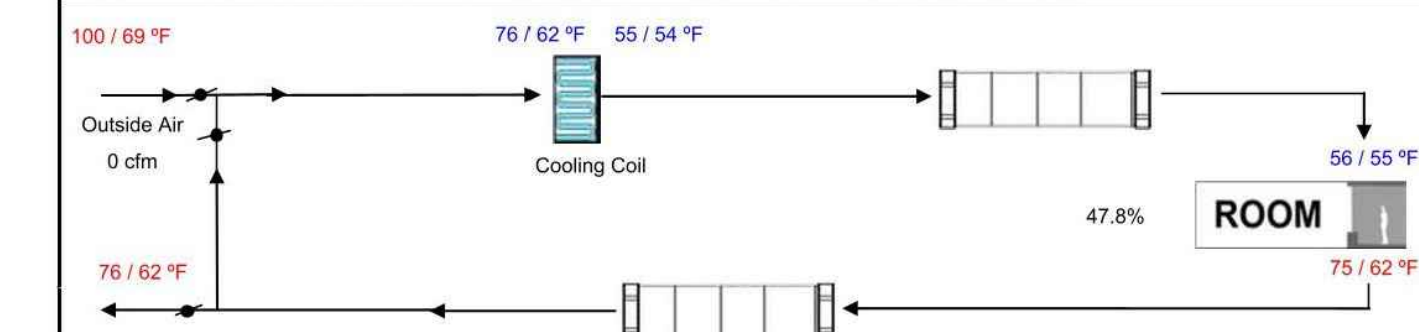
Table with columns: Number of Systems, Heating System, Cooling System, Air System, and HVAC Equipment Selection. Includes sub-tables for COIL COOLING PEAK and COIL HTG. PEAK.

TIME OF SYSTEM PEAK

HEATING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Heating Peak)



COOLING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Cooling Peak)



PROJECT
PROJECT NAME
PROJECT ADDRESS



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OWNER
SCALE
PROJECT NO. 230023
DATE 08-09-2023

STYLE

DESCRIPTION
2022 RESIDENTIAL MANDATORY REQUIREMENTS

SHEET
T24-3

5/6/22

5/6/22

5/6/22

TABLE R702.3.5 MINIMUM THICKNESS AND APPLICATION OF GYPSUM BOARD AND GYPSUM PANEL PRODUCTS

THICKNESS OF GYPSUM BOARD OR GYPSUM PANEL PRODUCTS (inches)	APPLICATION	ORIENTATION OF GYPSUM BOARD OR GYPSUM PANEL PRODUCTS TO FRAMING	MAXIMUM SPACING OF FRAMING MEMBERS (inches o.c.)	MAXIMUM SPACING OF FASTENERS (inches)		SIZE OF NAILS FOR APPLICATION TO WOOD FRAMING ^a
				Nails ^a	Screws ^b	
Application without adhesive						
3/8	Ceiling ^d	Perpendicular	16	7	12	13 gage, 1 1/4" long, 19/64" head; 0.098" diameter, 1 1/4" long, ring shank; or 4d cooler nail, 0.080" diameter, 1 3/8" long, 7/32" head.
	Wall	Either direction	16	8	16	
1/2	Ceiling	Either direction	16	7	12	13 gage, 1 3/8" long, 19/64" head; 0.098" diameter, 1 1/4" long, ring shank; 5d cooler nail, 0.086" diameter, 1 5/8" long, 15/64" head; or gypsum board nail, 0.086" diameter, 1 5/8" long, 9/32" head.
	Ceiling ^d	Perpendicular	24	7	12	
	Wall	Either direction	24	8	12	
5/8	Wall	Either direction	16	8	16	
	Ceiling	Either direction	16	7	12	13 gage, 1 3/8" long, 19/64" head; 0.098" diameter, 1 3/8" long, ring shank; 6d cooler nail, 0.092" diameter, 1 7/8" long, 1/4" head; or gypsum board nail, 0.0915" diameter, 1 7/8" long, 19/64" head.
	Ceiling	Perpendicular	24	7	12	
	Type X at garage ceiling beneath habitable rooms	Perpendicular	24	6	6	1 7/8" long 0.099" diameter galvanized nails or equivalent drywall screws. Screws shall comply with Section R702.3.5.1.
5/8	Wall	Either direction	24	8	12	13 gage, 1 3/8" long, 19/64" head; 0.098" diameter, 1 3/8" long, ring shank; 6d cooler nail, 0.092" diameter, 1 7/8" long, 1/4" head; or gypsum board nail, 0.0915" diameter, 1 7/8" long, 19/64" head.
	Wall	Either direction	16	8	16	
Application with adhesive						
3/8	Ceiling ^d	Perpendicular	16	16	16	Same as above for 3/8" gypsum board and gypsum panel products.
	Wall	Either direction	16	16	24	
1/2 or 5/8	Ceiling	Either direction	16	16	16	Same as above for 1/2" and 5/8" gypsum board and gypsum panel products, respectively.
	Ceiling ^d	Perpendicular	24	12	16	
Two 3/8 layers	Wall	Either direction	24	16	24	
	Ceiling	Perpendicular	16	16	16	Base ply nailed as above for 1/2" gypsum board and gypsum panel products; face ply installed with an adhesive.

For SI: 1 inch = 25.4 mm.

- a. For application without adhesive, a pair of nails spaced not less than 2 inches apart or more than 2 1/2 inches apart shall be permitted to be used with the pair of nails spaced 12 inches on center.
- b. Screws shall be in accordance with Section R702.3.5.1. Screws for attaching gypsum board or gypsum panel products to structural insulated panels shall penetrate the wood structural panel facing not less than 7/16 inch.
- c. Where cold-formed steel framing is used with a clinching design to receive nails by two edges of metal, the nails shall be not less than 1/16 inch longer than the gypsum board or gypsum panel product thickness and shall have ringed shanks. Where the cold-formed steel framing has a nailing groove formed to receive the nails, the nails shall have barbed shanks or be 0.088-inch diameter, 1 3/4 inches long, 19/64-inch head for 1/2-inch gypsum board or gypsum panel product, and 0.090-inch diameter, 1 7/8 inches long, 19/64-inch head for 5/8-inch gypsum board or gypsum panel product.
- d. Three-eighths-inch-thick single-ply gypsum board or gypsum panel product shall not be used on a ceiling where a water-based textured finish is to be applied, or where it will be required to support insulation above a ceiling. On ceiling applications to receive a water-based texture material, either hand or spray applied, the gypsum board or gypsum panel product shall be applied perpendicular to framing. Where applying a water-based texture material, the minimum gypsum board thickness shall be increased from 3/8 inch to 1/2 inch for 16-inch on center framing, and from 1/2 inch to 5/8 inch for 24-inch on center framing or 1/2-inch sag-resistant gypsum ceiling board shall be used.

FIRE BLOCKING MUST BE PROVIDED IN ACCORDANCE WITH CRC SECTION R302.11 AT THE FOLLOWING LOCATIONS:

- a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING LEVEL.
- b. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT 10-FOOT INTERVALS ALONG THE LENGTH OF THE WALL.
- c. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- d. AT ANNULAR OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.

BEST MANAGEMENT PRACTICE AND CONSTRUCTION ACTIVITIES

JOB ADDRESS _____ PERMIT# _____
 DEPARTMENT OF BUILDING AND SAFETY
 STORM WATER POLLUTION CONTROL REQUIREMENTS FOR ALL DEVELOPMENT CONSTRUCTION PROJECTS / CERTIFICATION STATEMENTS

THE FOLLOWING IS INTENDED AS AN ATTACHMENT FOR CONSTRUCTION AND GRADING PLANS AND REPRESENT THE MINIMUM STANDARDS FOR GOOD HOUSEKEEPING WHICH MUST BE IMPLEMENTED ON ALL CONSTRUCTION SITES REGARDLESS OF SIZE.

DEVELOPMENT CONSTRUCTION PROJECT ARE DEFINED AS PROJECT WHERE THERE IS LESS THAN TWO ACRES OF DISTURBED SOIL, NOT LOCATED IN DESIGNATED HILLSIDE AREAS, AND NOT IN OR ADJACENT TO ENVIRONMENTAL SENSITIVE AREAS. NOTE: A PROJECT IN A DESIGNATED HILLSIDE AREA WITH LESS THAN TWO ACRES OF DISTURBED SOIL AND NOT IN OR ADJACENT TO AN ENVIRONMENTAL SENSITIVE AREA MAY BE CLASSIFIED AS A DEVELOPMENT CONSTRUCTION PROJECT IF THE GRADING PRE-INSPECTION (GPI) IS NOT REQUIRED OR THE ENTIRE LOT HAS A SLOPE OF TEN PERCENT OR LESS.

- 1.) ERODED SEDIMENT AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWELLS, AREA DRAINS, NATURAL DRAINAGE.
- 2.) STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCE OF WIND OR WATER.
- 3.) FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STOCK PILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- 4.) STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- 5.) TRASH AND CONSTRUCTIONS RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAIN WATER AND DISPERSAL BY WIND.
- 6.) SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROAD WAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- 7.) ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

OTHER:

AS THE PROJECT OWNER OR AUTHORIZED AGENT OF OWNER, I HAVE READ AND UNDERSTAND THE REQUIREMENTS, LISTED ABOVE, NECESSARY TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION, CONSTRUCTION MATERIALS, I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME: _____ DATE: _____
 (OWNER OR AUTHORIZED AGENT OF OWNER)

SIGNATURE: _____
 (OWNER OR AUTHORIZED AGENT OF OWNER)

ADDT'L NOTES:

PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES. OWNER WILL MAINTAIN DRAINAGE DEVICES AND KEEP FREE OF DEBRIS. AN EXCAVATION / ENCROACHMENT PERMIT IS REQUIRED FOR CONSTRUCTION AND / OR DISCHARGE OF DRAINAGE WITHIN PUBLIC ROAD RIGHT-OF-WAY. (COUNTY OF LOS ANGELES) NO WORK IS ALLOWED WITHIN THE PROTECTED ZONE OF OAK TREE WITHOUT REPORT AND PERMIT. ELEVATE THE FINISH FLOOR 6 INCHES MINIMUM ABOVE NATURAL OR FINISHED GRADE.

AS THE DESIGNEE OF RECORD, I HAVE SELECTED APPROPRIATE BMP'S TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMP'S MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMP'S NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITIES.

NAME: ERIC NEGRETE, GRIT DESIGN GROUP, INC.
 POSITION: DESIGNER
 DATE:

"I CERTIFY THAT THE PROPOSED WORK WILL NOT DESTROY OR UNREASONABLY INTERFERE WITH ANY ACCESS OR UTILITY EASEMENT BELONGING TO OTHERS AND LOCATED ON MY PROPERTY, BUT IN THE EVENT SUCH WORK DOES DESTROY OR UNREASONABLY INTERFERE WITH SUCH EASEMENT, A SUBSTITUTE EASEMENT(S) SATISFACTORY TO THE HOLDER(S) OF THE EASEMENT WILL BE PROVIDED"

 SIGNATURE TITLE

 PRINT NAME DATE



PROJECT
 PROJECT NAME
 PROJECT ADDRESS



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 2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO LAMFEI LIN BUILDERS. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL BE ATTACHED TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, DEFEND, INDEMNIFY, AND HOLD LAMFEI LIN BUILDERS AND ITS ENGINEER HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR CONDITIONS ARISING OUT OF OR RESULTING THEREFROM ANY USE OF THESE CONSTRUCTION DOCUMENTS FOR OR ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY, INDIRECT OR CONSEQUENTIAL DAMAGES IN ANY AMOUNT. THIS INDEMNITY DOES NOT APPLY TO THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF LAMFEI LIN BUILDERS OR ITS ENGINEER.
 3. THE DESIGN REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION.
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OWNER
 SCALE
 PROJECT NO. 230023
 DATE 08-09-2023

STYLE

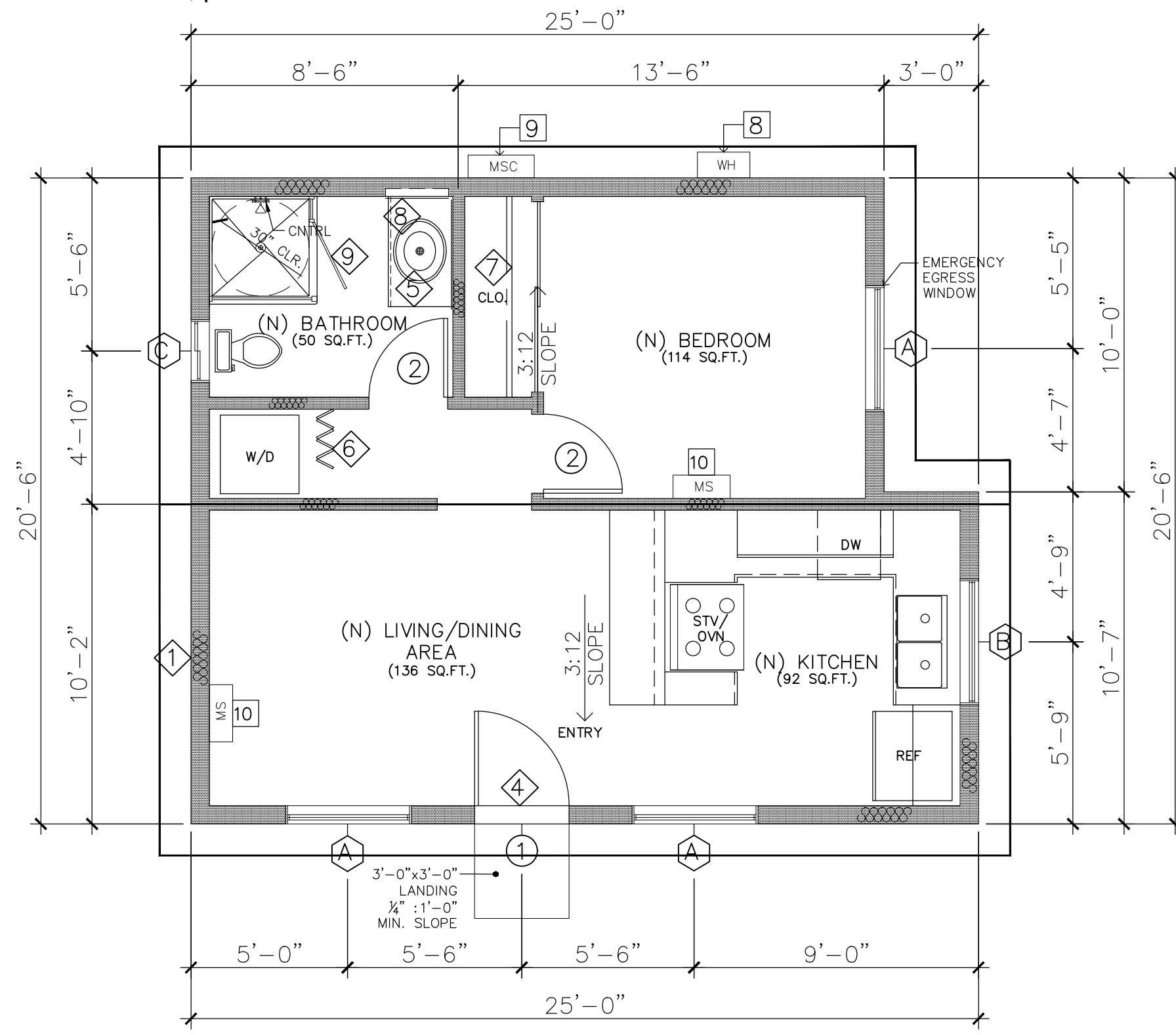
DESCRIPTION
BEST MANAGEMENT PRACTICES | APPLICATION OF GYPSUM BOARD | FIRE BLOCKING NOTES

SHEET
A0.0

PROPER COPY OF THE CITY OF UPLAND DO NOT COPY OR ALTER

FLOOR PLAN

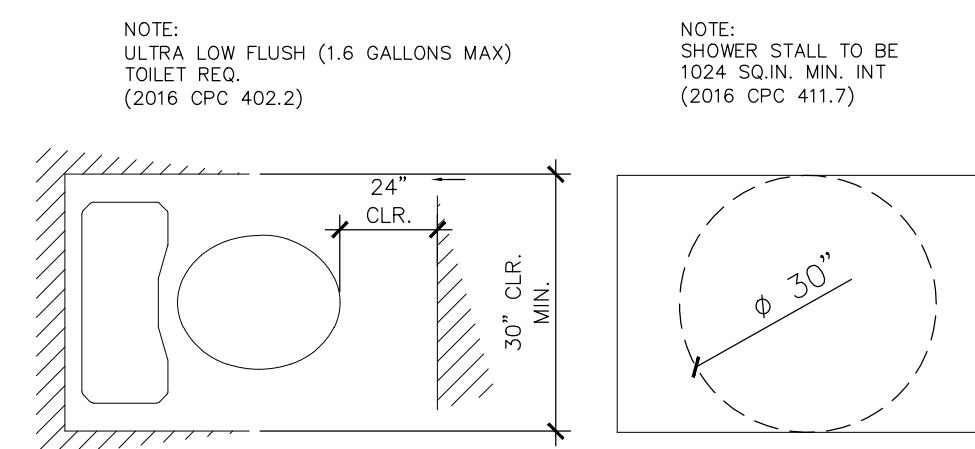
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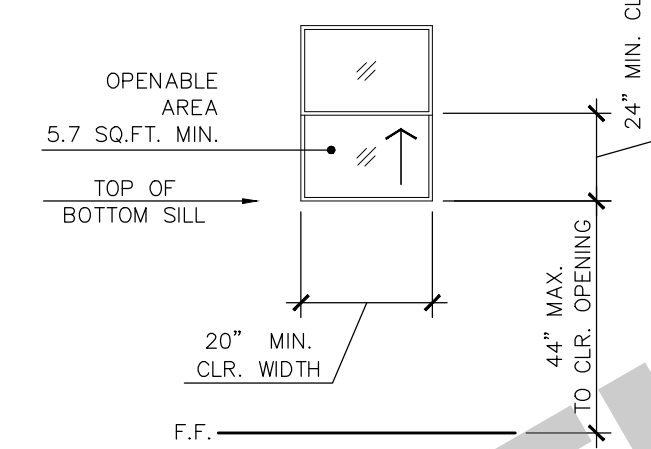
REAR
LEFT
RIGHT
FRONT
ELEVATION
SIDE VIEWS

- MINIMUM ROOM DIMENSIONS (R304 & R305)**
- HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF NOT LESS THAN 70 SF.
 - HABITABLE ROOMS SHALL NOT BE LESS THAN 7 FT. IN ANY HORIZONTAL DIMENSION.
 - HABITABLE SPACE AND HALLWAYS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FT. BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 8'-8".

MINIMUM BATHROOM REQ.

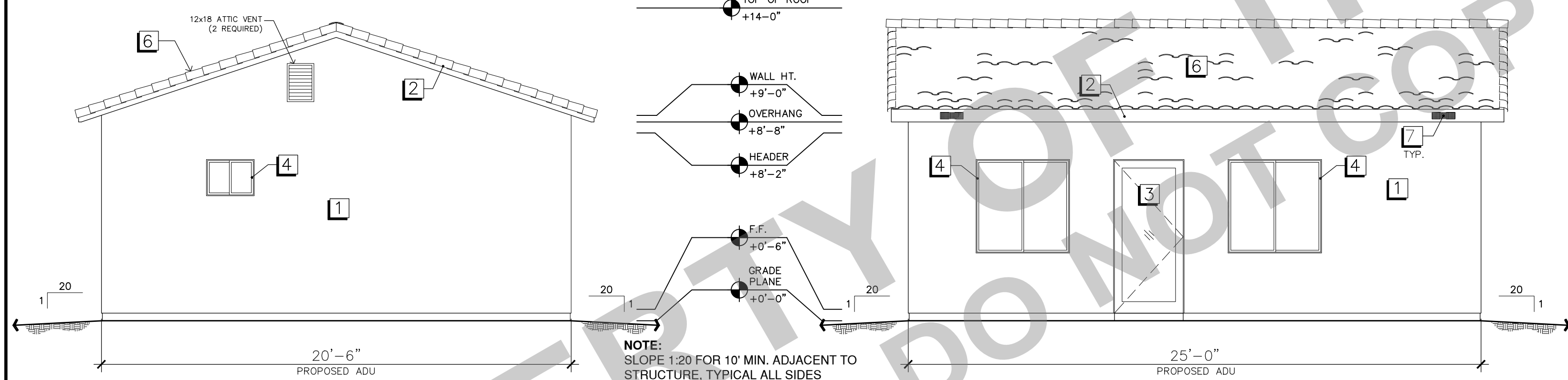


WINDOW EGRESS DETAIL



ELEVATIONS

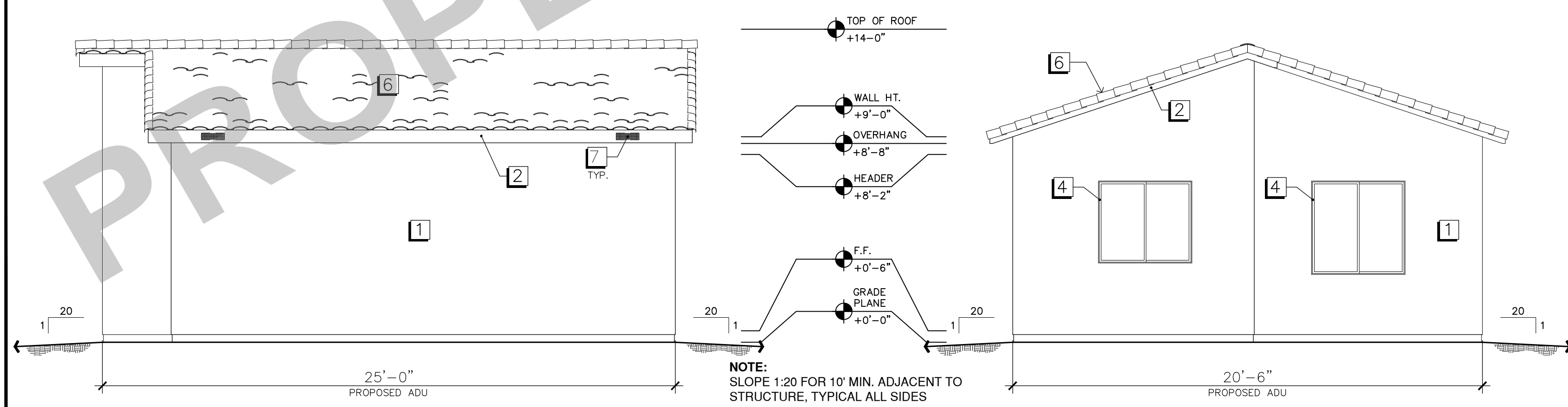
1/4" = 1'-0"



LEFT SIDE

FRONT SIDE

ROOFING NOTE:
EAGLELITE CAPISTRANO LIGHT-WEIGHT ROOF TILE (5.7PSF), CLASS A (ASTM E108) TYPE I - HIGH PROFILE, IAPMO-ES ER-1900. INSTALL WITH UNDERLAYMENT IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO ORDER SAMPLE TO VERIFY THIS PRODUCT MATCHES THE EXISTING MAIN RESIDENCE ROOF COVERING COLOR AND VERIFY COLOR WITH HOMEOWNER.



REAR SIDE

RIGHT SIDE

ADU LIGHT & VENTILATION REQUIREMENTS

(N) ENTRY / LIVING ROOM / KITCHEN / DINING		LIGHT REQ.	
VENTILATION REQ.		WINDOWS	
2-4040.....16.00 SQ.FT.	2-4040.....32.00 SQ.FT.	2-4040.....32.00 SQ.FT.	2-4040.....32.00 SQ.FT.
1-3640.....7.00 SQ.FT.	1-3640.....14.00 SQ.FT.	1-3640.....14.00 SQ.FT.	1-3640.....14.00 SQ.FT.
DOORS		DOORS (GLASS)	
1-3068.....20.00 SQ.FT.	1-3068.....20.00 SQ.FT.	1-2058.....11.50 SQ.FT.	1-2058.....11.50 SQ.FT.
TOTAL OPENABLE AREA.....43.00 SQ.FT.	TOTAL OPENABLE AREA.....43.00 SQ.FT.	TOTAL GLASS AREA.....57.50 SQ.FT.	TOTAL GLASS AREA.....57.50 SQ.FT.
TOTAL FLOOR AREA.....228 SQ.FT.	TOTAL FLOOR AREA.....228 SQ.FT.	TOTAL FLOOR AREA.....228 SQ.FT.	TOTAL FLOOR AREA.....228 SQ.FT.
18.9% OPENABLE FOR REQ. VENT. - OK!	18.9% OPENABLE FOR REQ. VENT. - OK!	25.2% FOR REQ. LIGHT - OK!	25.2% FOR REQ. LIGHT - OK!

(N) BEDROOM

VENTILATION REQ.		LIGHT REQ.	
WINDOW		WINDOW	
1-4040.....8.00 SQ.FT.	1-4040.....8.00 SQ.FT.	1-4040.....16.00 SQ.FT.	1-4040.....16.00 SQ.FT.
TOTAL OPENABLE AREA.....8.00 SQ.FT.	TOTAL OPENABLE AREA.....8.00 SQ.FT.	TOTAL GLASS AREA.....16.00 SQ.FT.	TOTAL GLASS AREA.....16.00 SQ.FT.
TOTAL FLOOR AREA.....114 SQ.FT.	TOTAL FLOOR AREA.....114 SQ.FT.	TOTAL FLOOR AREA.....114 SQ.FT.	TOTAL FLOOR AREA.....114 SQ.FT.
7.0% OPENABLE FOR REQ. VENT. - OK!	7.0% OPENABLE FOR REQ. VENT. - OK!	14.0% FOR REQ. LIGHT - OK!	14.0% FOR REQ. LIGHT - OK!

LIGHTING: (R303)
ALL ROOMS REQUIRE NATURAL LIGHT BY MEANS OF EXTERIOR WINDOWS OR SKYLIGHTS MIN. 8% OF THE FLOOR AREA OF THE ROOM.

VENTILATION: (R303)
ALL ROOMS REQUIRE NATURAL VENTILATION BY MEANS OF OPENABLE WINDOWS MIN. 4% OF THE FLOOR AREA OF THE ROOM.

ADU ROOF VENTILATION *

ATTIC AREA TO BE VENTILATED - 199 SQ.FT.
REQUIRED VENTILATION = 199 / 150 = 1.33 SQ.IN.
1.33 x 144 = 191.52 SQ.IN.

GABLE VENT (12" x 18")
NET FREE AREA EACH VENT = 216 SQ.IN.
AMOUNT 191.52 / 216 = 0.88
= USE 1 GABLE VENT

WIRE EAVE VENT (3 1/2" x 14")
NET FREE AREA EACH VENT = 49 SQ.IN.
AMOUNT 191.52 / 49 = 3.91
= USE 4 WIRE EAVE VENTS

* COMBINATION OF GABLE VENTS AND / OR WIRED EAVE VENTS IS ALLOWED.

ROOF VENTILATION: (R006.2)
THE NET FREE VENTILATING AREA OF ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT REDUCTION OF TOTAL THE AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE AVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR CLASS II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING, A MINIMUM OF 1-INCH CLEARANCE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING.

SCHEDULES

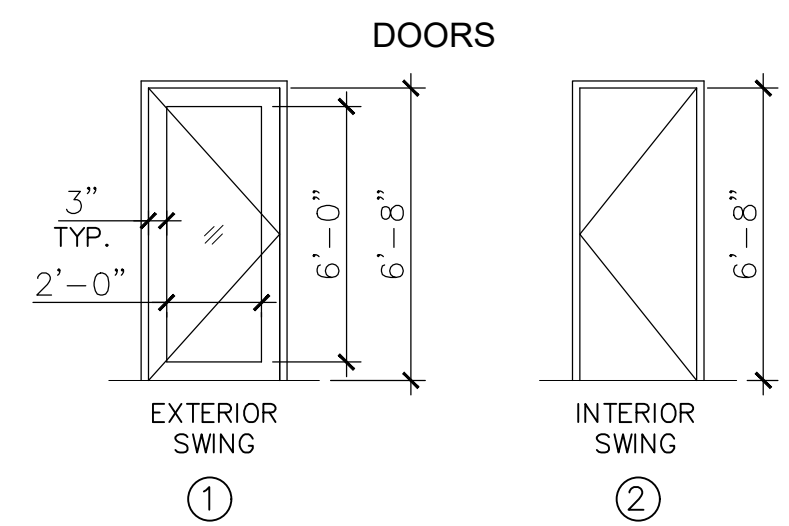
KEY	DIMENSION	TYPE	DESCRIPTION	QTY
1	3'-0" x 6'-8"	EXT. SWING	SOLID CORE / WOOD	1
2	2'-8" x 6'-8"	INT. SWING	HOLLOW CORE / WOOD	2

KEY	SIZE	TYPE	DESCRIPTION / COLOR / SPEC	QTY
A	4'-0" x 4'-0"	SINGLE HUNG / DUAL PANE	VINYL / WHITE / U-FACTOR = / SHGC =	3
B	3'-6" x 4'-0"	SINGLE HUNG / DUAL PANE	VINYL / WHITE / U-FACTOR = / SHGC =	1
C	2'-0" x 1'-6"	SLIDING / DUAL PANE (GLAZED)	VINYL / WHITE / U-FACTOR = / SHGC =	1

KEY	NOTE
1	NEW EXTERIOR WALL 2x4 @ 16" STUDS W/ 3/4" GYP. BRD., 1/2" STUCCO, R-13 BATT. INSULATION
2	NEW INTERIOR WALL 2x4 @ 16" STUDS W/ 3/4" GYP. BRD., R-13 BATT. INSULATION
3	LINE OF ROOF EAVE
4	NEW DOOR OPENING W/ 1/2" MAX. THRESHOLD TYP. @ DOOR
5	NEW 2'-8" HIGH CABINET COUNTER WITH 4" BACK SPLASH, TYP.
6	ACCORDIAN DOOR W/ TRACK
7	SHELF AND HANGER ROD
8	MIRROR W/ MED. CAB
9	TEMPERED GLASS SHOWER DOOR

KEY	DESCRIPTION	COLOR / STYLE
1	SMOOTH STUCCO	'SWISS COFFEE' OR SIM.
2	WOOD TRIM	BROWN
3	ENTRY DOOR	WOOD
4	WINDOW	BLACK
5	LT WT CONCRETE TILE (5psf MAX.)	SPANISH RED
6	PATIO COVER (OPTIONAL)	'SWISS COFFEE' OR SIM.
7	EAVE VENTS (6) REQUIRED	
8	TANKLESS ELECT. WATER HEATER	
9	MINISPLIT CONDENSOR	
10	MINISPLIT UNIT	

FLOOR	CARPET	LINOLEUM	COMPOSITE FLOORING	CERAMIC TILE	CONCRETE	TEX-O-DEK	COVERED VINYL	WOOD	TOP SET RUBBER ELASTOMERIC	3/4" GYP. BRD. PAINTED	3/4" GREEN BOARD	STUCCO	PLASTER	TILE	3/4" GYP. BRD. / ACCOUST.	3/4" GYP. BRD. PAINTED	3/4" GREEN BOARD	TILE	STUCCO
ENTRY																			
LIVING / DINING																			
KITCHEN																			
SLEEPING AREA																			
BATHROOM																			



- WINDOW NOTE:**
- GLAZING IN DOORS AND WINDOWS WITHIN 24" OF A DOOR SHALL BE SAFETY GLAZING (TEMPERED).
 - GLAZING IN WINDOWS WITHIN 18" OF THE FLOOR SHALL BE SAFETY GLAZING (TEMPERED GLASS).
 - EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED, ETC.) BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER, AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES.
 - THE LOAD RESISTANCE OF THE GLASS UNDER UNIFORM LOAD IS DETERMINED IN ACCORDANCE WITH ASTM E1300.



PROJECT
PROJECT NAME
PROJECT ADDRESS



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OWNER
SCALE
PROJECT NO. 230023
DATE 08-09-2023

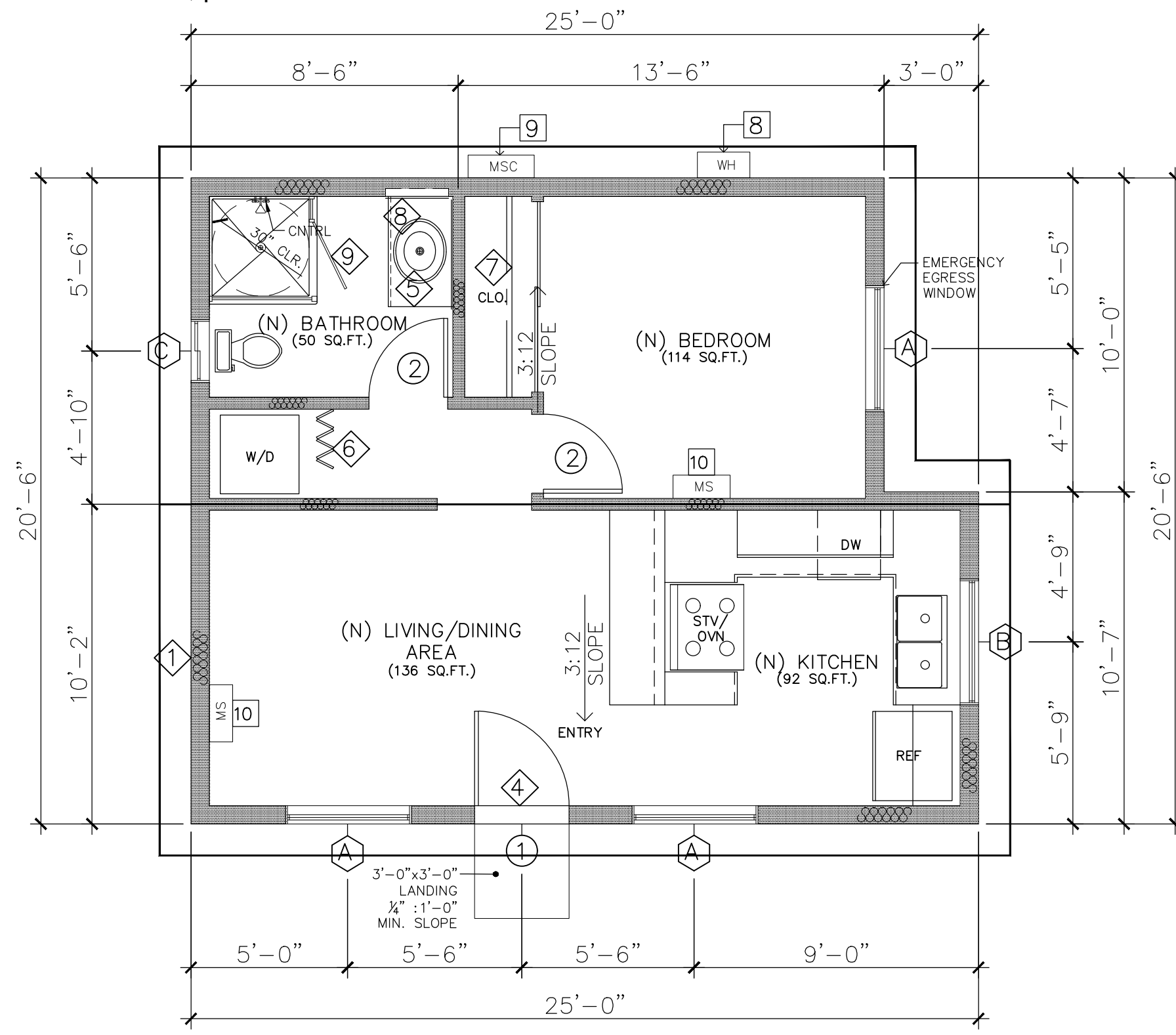
STYLE

DESCRIPTION
SPANISH STYLE FLOOR PLAN | ELEVATIONS | SCHEDULES

SHEET
A1.0

FLOOR PLAN

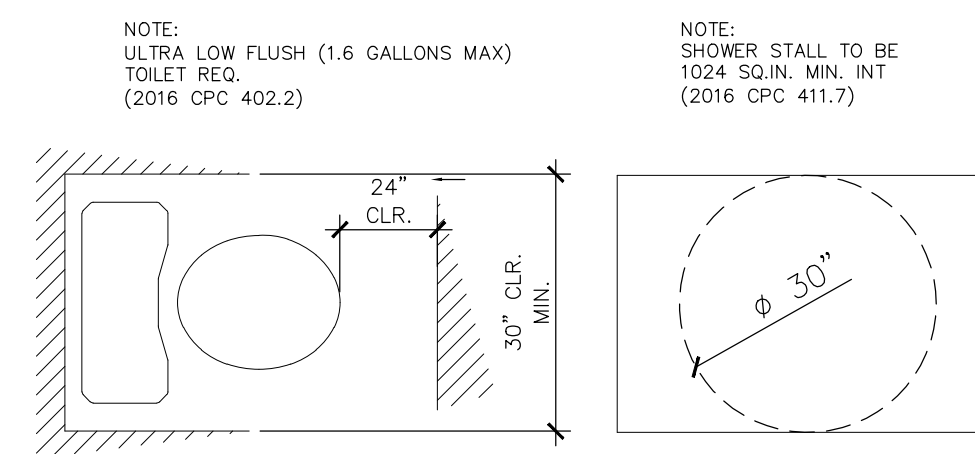
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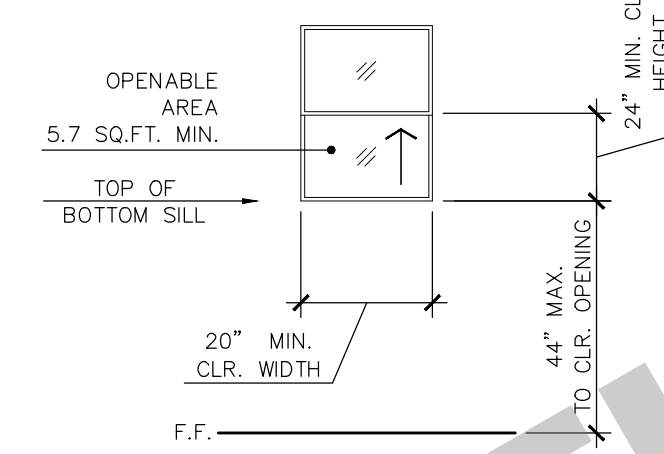
REAR
LEFT
RIGHT
FRONT
ELEVATION
SIDE VIEWS

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MINIMUM BATHROOM REQ.



WINDOW EGRESS DETAIL



ADU LIGHT & VENTILATION REQUIREMENTS

(N) ENTRY / LIVING ROOM / KITCHEN / DINING		LIGHT REQ.	
VENTILATION REQ.		WINDOWS	
2-4040.....	16.00 SQ.FT.	2-4040.....	32.00 SQ.FT.
1-3640.....	7.00 SQ.FT.	1-3640.....	14.00 SQ.FT.
DOORS		DOORS (GLASS)	
1-3068.....	20.00 SQ.FT.	1-2058.....	11.50 SQ.FT.
TOTAL OPENABLE AREA		TOTAL GLASS AREA	
43.00 SQ.FT.		57.50 SQ.FT.	
TOTAL FLOOR AREA		TOTAL FLOOR AREA	
228 SQ.FT.		228 SQ.FT.	
18.9% OPENABLE FOR REQ. VENT. - OK!		25.2% FOR REQ. LIGHT - OK!	
(N) BEDROOM		LIGHT REQ.	
VENTILATION REQ.		WINDOW	
1-4040.....	8.00 SQ.FT.	1-4040.....	16.00 SQ.FT.
TOTAL OPENABLE AREA		TOTAL OPENABLE AREA	
8.00 SQ.FT.		16.00 SQ.FT.	
TOTAL FLOOR AREA		TOTAL FLOOR AREA	
114 SQ.FT.		114 SQ.FT.	
7.0% OPENABLE FOR REQ. VENT. - OK!		14.0% FOR REQ. LIGHT - OK!	

LIGHTING: (R303)
ALL ROOMS REQUIRE NATURAL LIGHT BY MEANS OF EXTERIOR WINDOWS OR SKYLIGHTS MIN. 8% OF THE FLOOR AREA OF THE ROOM.

VENTILATION: (R303)
ALL ROOMS REQUIRE NATURAL VENTILATION BY MEANS OF OPENABLE WINDOWS MIN. 4% OF THE FLOOR AREA OF THE ROOM.

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1.33 x 144 = 191.52 SQ.IN.
GABLE VENT (12" x 18")
NET FREE AREA EACH VENT = 216 SQ.IN.
AMOUNT 191.52 / 216 = 0.88
= USE 1 GABLE VENT

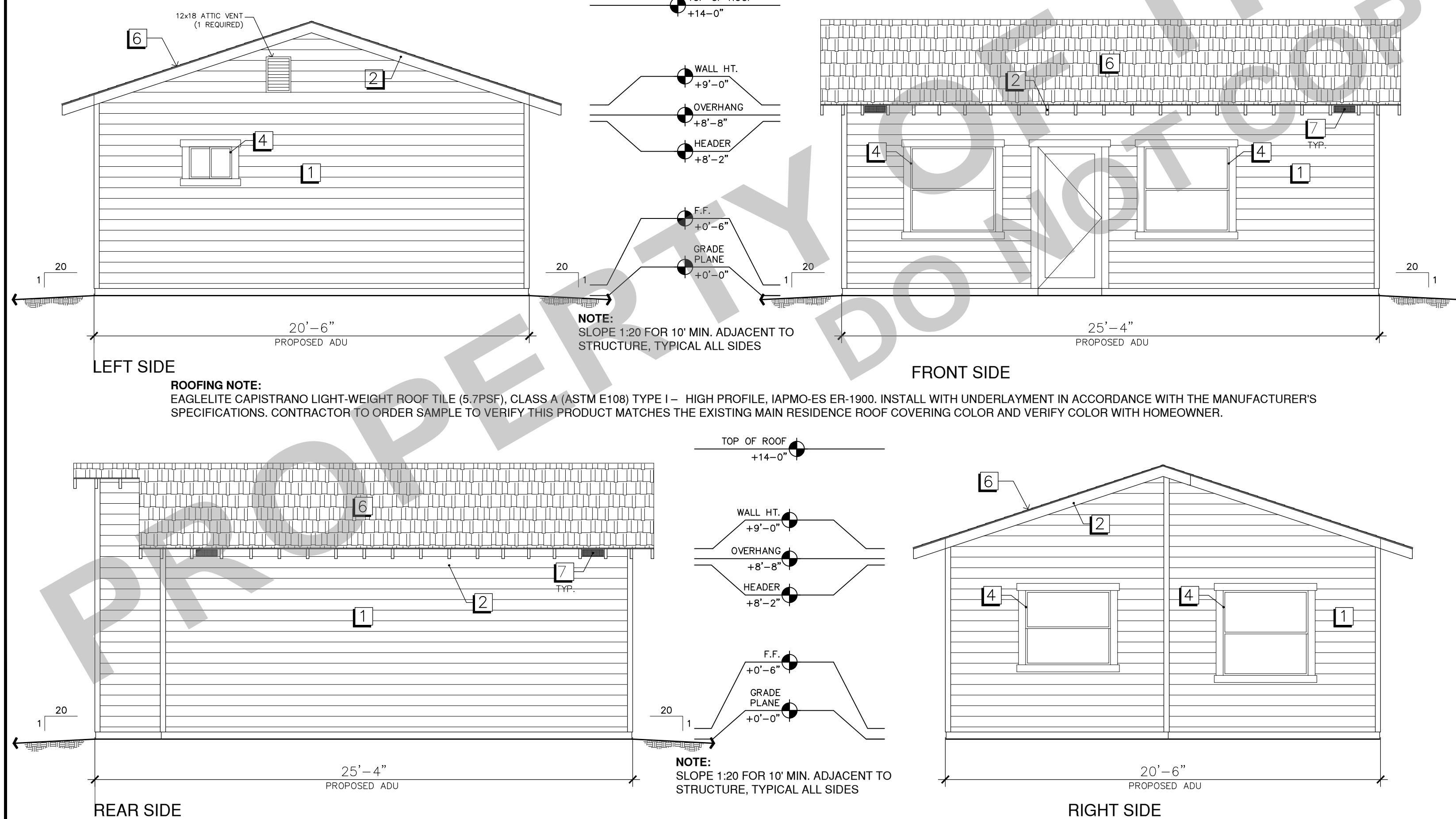
WIRE EAVE VENT (3 1/2" x 14")
NET FREE AREA EACH VENT = 49 SQ.IN.
AMOUNT 191.52 / 49 = 3.91
= USE 4 WIRE EAVE VENTS

* COMBINATION OF GABLE VENTS AND / OR WIRED EAVE VENTS IS ALLOWED.

ROOF VENTILATION: (R806.2)
THE NET FREE VENTILATING AREA OF ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT REDUCTION OF TOTAL THE AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE AVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATING AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR CLASS II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING, A MINIMUM OF 1-INCH CLEARANCE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING.

ELEVATIONS

1/4" = 1'-0"



ROOFING NOTE:
EAGLELITE CAPISTRANO LIGHT-WEIGHT ROOF TILE (5.7PSF), CLASS A (ASTM E108) TYPE I - HIGH PROFILE, IAPMO-ES ER-1900. INSTALL WITH UNDERLAYMENT IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO ORDER SAMPLE TO VERIFY THIS PRODUCT MATCHES THE EXISTING MAIN RESIDENCE ROOF COVERING COLOR AND VERIFY COLOR WITH HOMEOWNER.

SCHEDULES

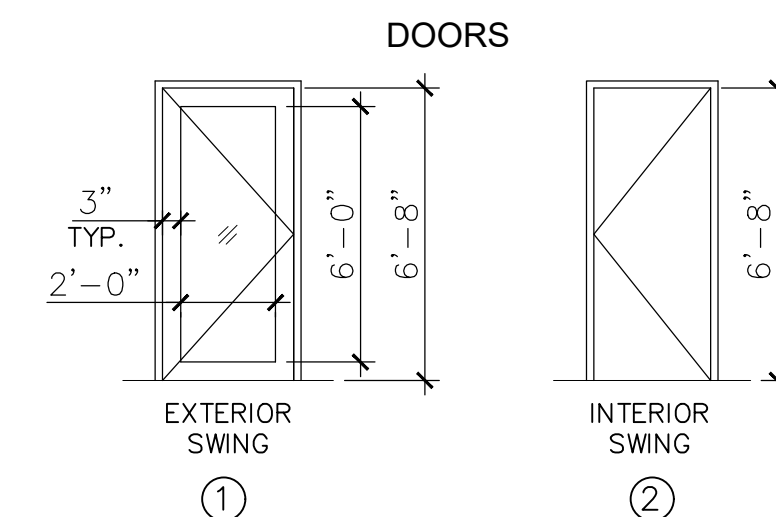
KEY	DIMENSION	TYPE	DESCRIPTION	QTY
①	3'-0" x 6'-8"	EXT. SWING	SOLID CORE / WOOD	1
②	2'-8" x 6'-8"	INT. SWING	HOLLOW CORE / WOOD	2

KEY	SIZE	TYPE	DESCRIPTION / COLOR / SPEC	QTY
Ⓐ	4'-0" x 4'-0"	SINGLE HUNG / DUAL PANE	VINYL / WHITE / U-FACTOR = / SHGC =	3
Ⓑ	3'-6" x 4'-0"	SINGLE HUNG / DUAL PANE	VINYL / WHITE / U-FACTOR = / SHGC =	1
Ⓒ	2'-0" x 1'-6"	SLIDING / DUAL PANE (GLAZED)	VINYL / WHITE / U-FACTOR = / SHGC =	1

KEY	NOTE
①	NEW EXTERIOR WALL 2x4 @ 16" STUDS W/ 1/2" GYP. BRD., 1/4" STUCCO, R-13 BATT. INSULATION
②	NEW INTERIOR WALL 2x4 @ 16" STUDS W/ 1/2" GYP. BRD., R-13 BATT. INSULATION
③	LINE OF ROOF EAVE
④	NEW DOOR OPENING W/ 1/2" MAX. THRESHOLD TYP. @ DOOR
⑤	NEW 2'-8" HIGH CABINET COUNTER WITH 4" BACK SPLASH, TYP.
⑥	ACCORDIAN DOOR W/ TRACK
⑦	SHELF AND HANGER ROD
⑧	MIRROR W/ MED. CAB
⑨	TEMPERED GLASS SHOWER DOOR

KEY	DESCRIPTION	COLOR / STYLE
①	HARDIBOARD SHIPLAP SIDING	WHITE OR OLIVE GREEN
②	WOOD TRIM	WHITE / OPEN END RAFTERS
③	ENTRY DOOR	WHITE
④	WINDOW	WHITE
⑤	30 YR. COMPOSITION SHINGLES	COLOR 'TBD' BY OWNER
⑥	PATIO COVER (OPTIONAL)	WHITE
⑦	EAVE VENTS (6) REQUIRED	-
⑧	TANKLESS ELECT. WATER HEATER	-
⑨	MINISPLIT CONDENSOR	-
⑩	MINISPLIT UNIT	-

FLOOR	BASE	WALL	CEILING
ROOM	CARPET LINOLEUM COMPOSITE FLOORING CERAMIC TILE CONCRETE TEX-O-DEK	COVERED VINYL WOOD TOP SET RUBBER ELASTOMERIC 1/2" GYP. BRD. PAINTED 1/2" GREEN BOARD STUCCO PLASTER TILE	1/2" GYP. BRD. / ACCOUST. 1/2" GYP. BRD. PAINTED 1/2" GREEN BOARD TILE STUCCO
ENTRY			
LIVING / DINING			
KITCHEN			
SLEEPING AREA			
BATHROOM			



- WINDOW NOTE:**
- GLAZING IN DOORS AND WINDOWS WITHIN 24" OF A DOOR SHALL BE SAFETY GLAZING (TEMPERED).
 - GLAZING IN WINDOWS WITHIN 18" OF THE FLOOR SHALL BE SAFETY GLAZING (TEMPERED GLASS).
 - EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED, ETC.) BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER, AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES.
 - THE LOAD RESISTANCE OF THE GLASS UNDER UNIFORM LOAD IS DETERMINED IN ACCORDANCE WITH ASTM E1300.



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OWNER
SCALE
PROJECT NO. 230023
DATE 08-09-2023

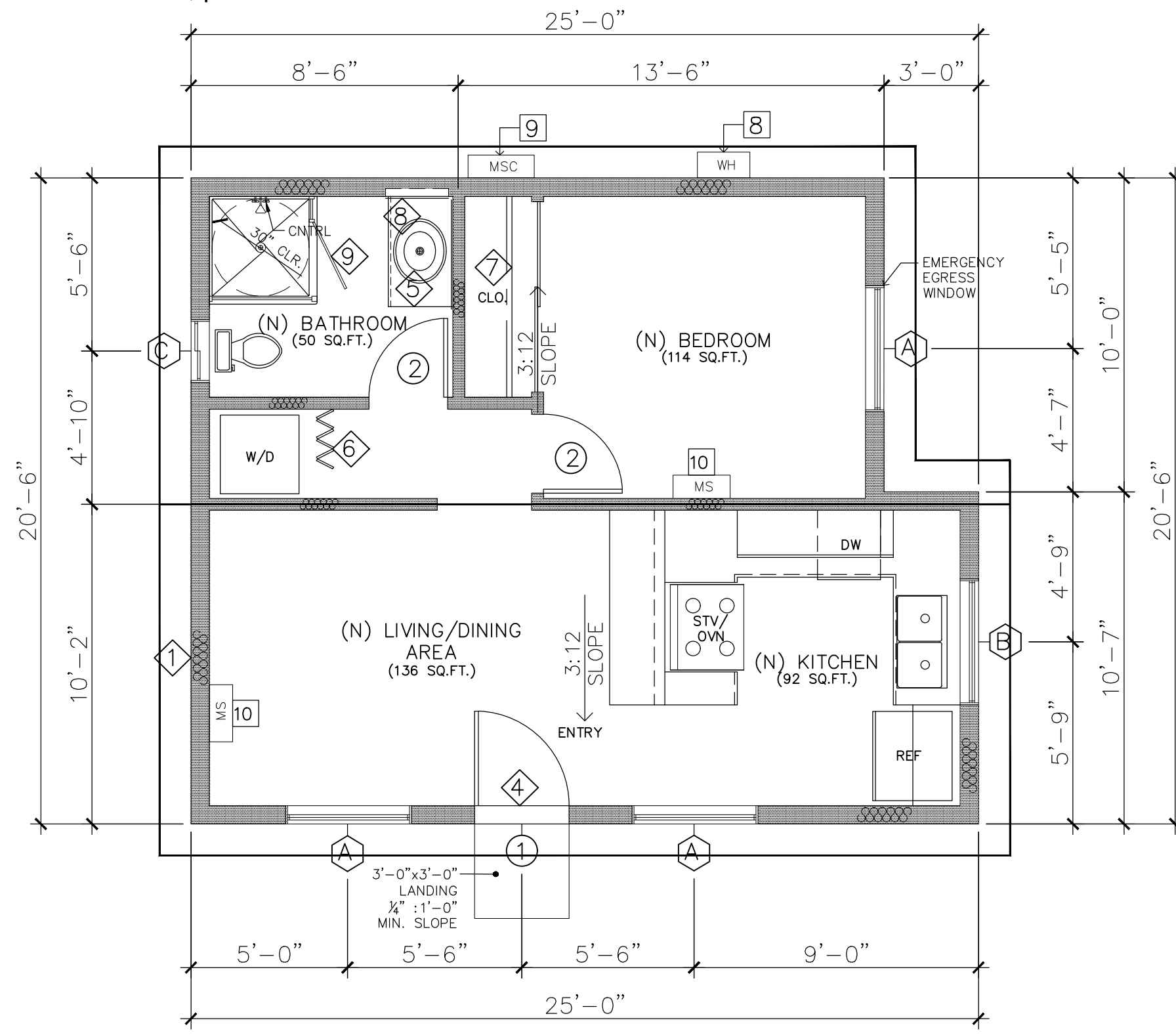
STYLE

DESCRIPTION
CRAFTSMAN STYLE FLOOR PLAN | ELEVATIONS | SCHEDULES

SHEET
A1.0

FLOOR PLAN

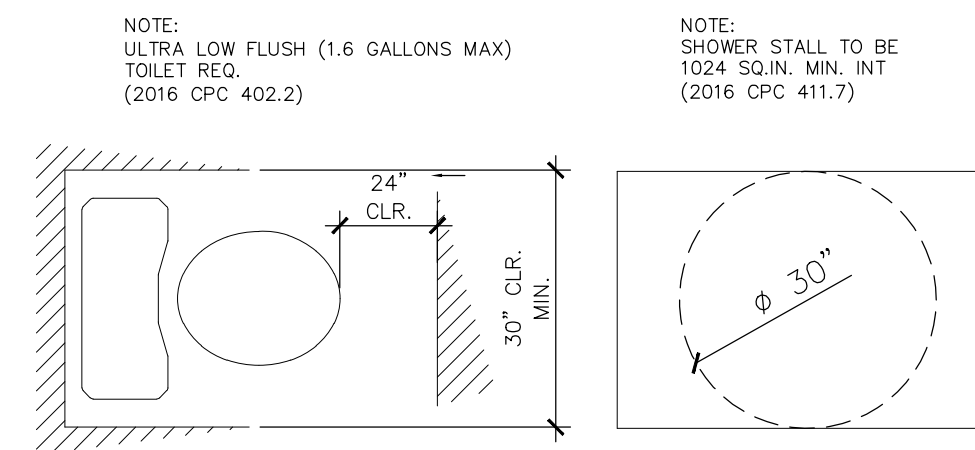
1/4" = 1'-0"



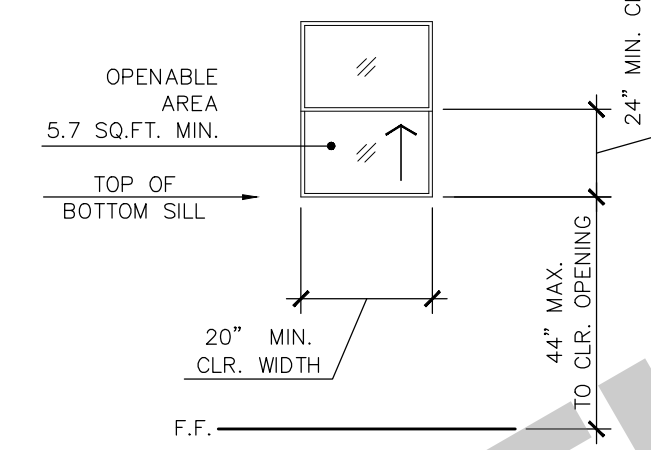
REAR
LEFT
RIGHT
ELEVATION
SIDE VIEWS

- MINIMUM ROOM DIMENSIONS (R304 & R305)
- HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF NOT LESS THAN 70 SF.
 - HABITABLE ROOMS SHALL NOT BE LESS THAN 7 FT. IN ANY HORIZONTAL DIMENSION.
 - HABITABLE SPACE AND HALLWAYS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FT. BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 8'-8".

MINIMUM BATHROOM REQ.

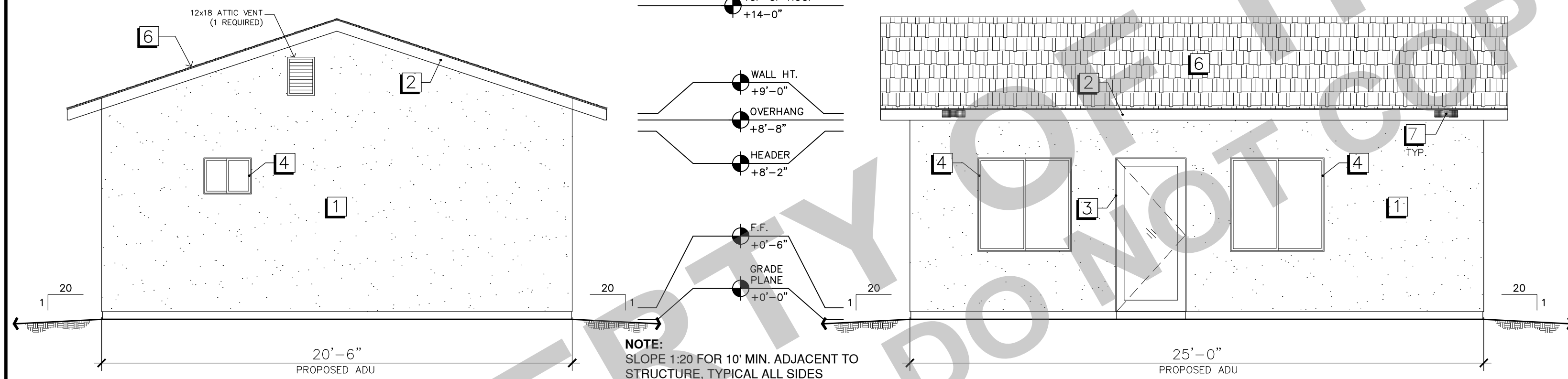


WINDOW EGRESS DETAIL



ELEVATIONS

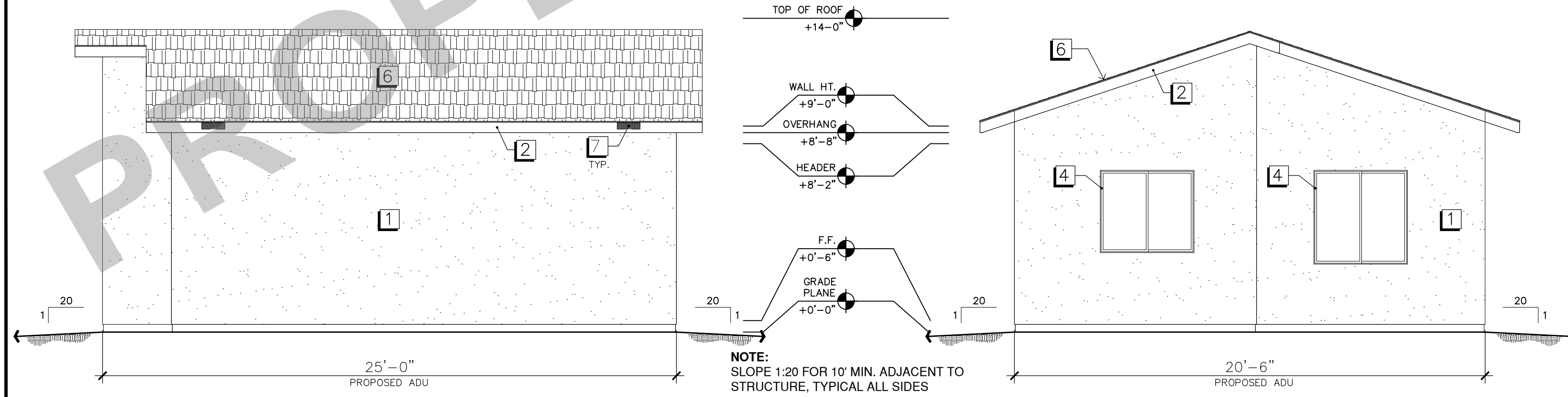
1/4" = 1'-0"



LEFT SIDE

ROOFING NOTE:
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FRONT SIDE



REAR SIDE

RIGHT SIDE

ADU LIGHT & VENTILATION REQUIREMENTS

(N) ENTRY / LIVING ROOM / KITCHEN / DINING		VENTILATION REQ.		LIGHT REQ.	
WINDOWS		WINDOWS		WINDOWS	
2-4040.....	16.00 SQ.FT.	2-4040.....	32.00 SQ.FT.	2-4040.....	14.00 SQ.FT.
1-3640.....	7.00 SQ.FT.	1-3640.....	14.00 SQ.FT.	1-3640.....	7.00 SQ.FT.
DOORS		DOORS (GLASS)		DOORS (GLASS)	
1-3068.....	20.00 SQ.FT.	1-2058.....	11.50 SQ.FT.	1-2058.....	11.50 SQ.FT.
TOTAL OPENABLE AREA	43.00 SQ.FT.	TOTAL GLASS AREA	57.50 SQ.FT.	TOTAL GLASS AREA	57.50 SQ.FT.
TOTAL FLOOR AREA	228 SQ.FT.	TOTAL FLOOR AREA	228 SQ.FT.	TOTAL FLOOR AREA	228 SQ.FT.
18.9% OPENABLE FOR REQ. VENT.	- OK!	25.2% FOR REQ. LIGHT	- OK!	25.2% FOR REQ. LIGHT	- OK!

LIGHTING: (R303)
ALL ROOMS REQUIRE NATURAL LIGHT BY MEANS OF EXTERIOR WINDOWS OR SKYLIGHTS MIN. 8% OF THE FLOOR AREA OF THE ROOM.

VENTILATION: (R303)
ALL ROOMS REQUIRE NATURAL VENTILATION BY MEANS OF OPENABLE WINDOWS MIN. 4% OF THE FLOOR AREA OF THE ROOM.

(N) BEDROOM		VENTILATION REQ.		LIGHT REQ.	
WINDOW		WINDOW		WINDOW	
1-4040.....	8.00 SQ.FT.	1-4040.....	16.00 SQ.FT.	1-4040.....	8.00 SQ.FT.
TOTAL OPENABLE AREA	8.00 SQ.FT.	TOTAL OPENABLE AREA	16.00 SQ.FT.	TOTAL OPENABLE AREA	16.00 SQ.FT.
TOTAL FLOOR AREA	114 SQ.FT.	TOTAL FLOOR AREA	114 SQ.FT.	TOTAL FLOOR AREA	114 SQ.FT.
7.0% OPENABLE FOR REQ. VENT.	- OK!	14.0% FOR REQ. LIGHT	- OK!	14.0% FOR REQ. LIGHT	- OK!

ADU ROOF VENTILATION *

ATTIC AREA TO BE VENTILATED - 199 SQ.FT.
REQUIRED VENTILATION = 199 / 150 = 1.33 SQ.IN.
1.33 x 144 = 191.52 SQ.IN.

GABLE VENT (12" x 18")
NET FREE AREA EACH VENT = 216 SQ.IN.
AMOUNT 191.52 / 216 = 0.88
= USE 1 GABLE VENT

WIRE EAVE VENT (3 1/2" x 14")
NET FREE AREA EACH VENT = 49 SQ.IN.
AMOUNT 191.52 / 49 = 3.91
= USE 4 WIRE EAVE VENTS

* COMBINATION OF GABLE VENTS AND / OR WIRED EAVE VENTS IS ALLOWED.

ROOF VENTILATION: (R806.2)
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SCHEDULES

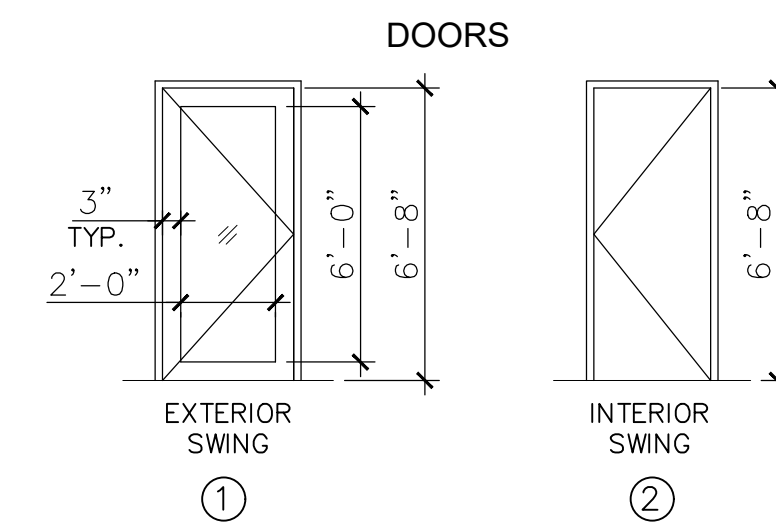
KEY	DIMENSION	TYPE	DESCRIPTION	QTY
①	3'-0" x 6'-8"	EXT. SWING	SOLID CORE / WOOD	1
②	2'-8" x 6'-8"	INT. SWING	HOLLOW CORE / WOOD	2

KEY	SIZE	TYPE	DESCRIPTION / COLOR / SPEC	QTY
Ⓐ	4'-0" x 4'-0"	SINGLE HUNG / DUAL PANE	VINYL / WHITE / U-FACTOR = / SHGC =	3
Ⓑ	3'-6" x 4'-0"	SINGLE HUNG / DUAL PANE	VINYL / WHITE / U-FACTOR = / SHGC =	1
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KEY	NOTE
①	NEW EXTERIOR WALL 2x4 @ 16" STUDS W/ 3/4" GYP. BRD., 1/2" STUCCO, R-13 BATT. INSULATION
②	NEW INTERIOR WALL 2x4 @ 16" STUDS W/ 3/4" GYP. BRD., R-13 BATT. INSULATION
③	LINE OF ROOF EAVE
④	NEW DOOR OPENING W/ 1/2" MAX. THRESHOLD TYP. @ DOOR
⑤	NEW 2'-8" HIGH CABINET COUNTER WITH 4" BACK SPLASH, TYP.
⑥	ACCORDIAN DOOR W/ TRACK
⑦	SHELF AND HANGER ROD
⑧	MIRROR W/ MED. CAB
⑨	TEMPERED GLASS SHOWER DOOR

KEY	DESCRIPTION	COLOR / STYLE
①	STUCCO	TBD BY OWNER
②	WOOD TRIM	TBD BY OWNER
③	ENTRY DOOR	WOOD
④	WINDOW	WHITE
⑤	COMPOSITION ROOFING	COLOR TBD BY OWNER
⑥	PATIO COVER (OPTIONAL)	WHITE
⑦	EAVE VENTS (6) REQUIRED	
⑧	TANKLESS ELECT. WATER HEATER	
⑨	MINISPLIT CONDENSOR	
⑩	MINISPLIT UNIT	

FLOOR	BASE	WALL	CEILING
ROOM			
ENTRY	CARPET	COVERED VINYL	5/8" GYP. BRD. / ACCOUST. TILE
LIVING / DINING	LINOLEUM	WOOD	5/8" GYP. BRD. PAINTED
KITCHEN	COMPOSITE FLOORING	TOP SET RUBBER ELASTOMERIC	5/8" GYP. BRD. PAINTED
SLEEPING AREA	CERAMIC TILE	3/4" GYP. BRD. PAINTED	5/8" GYP. BRD. PAINTED
BATHROOM	CONCRETE	STUCCO	TILE
	TEX-O-DEK	PLASTER	STUCCO
		TILE	

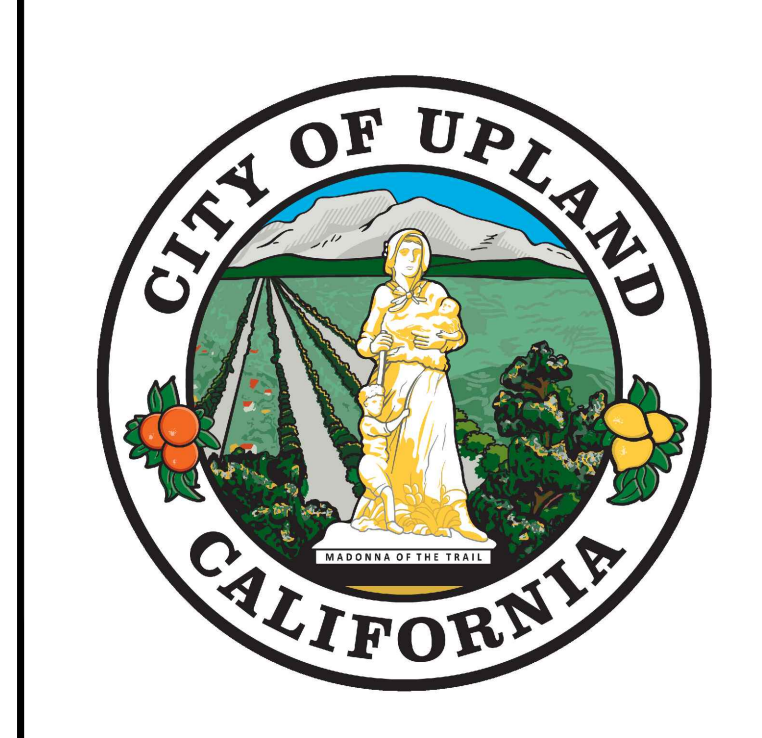


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 - EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED (ACID ETCHED, SAND BLASTED, CERAMIC FIRED, ETC.) BY A MANUFACTURER'S DESIGNATION, THE MANUFACTURER OR INSTALLER, AND THE SAFETY GLAZING STANDARD WHICH IT COMPLIES.
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OWNER
SCALE
PROJECT NO. 230023
DATE 08-09-2023

STYLE

DESCRIPTION
TRADITIONAL STYLE FLOOR PLAN | ELEVATIONS | SCHEDULES

SHEET
A1.0

TYPICAL UTILITY NOTES

CALIFORNIA PLUMBING CODE

- THE SEWER/DRAIN LINE FOR THE APPROVED ADU MUST BE LOCATED ON THE LOT IT SERVES AND CONNECTED TO THE PROPERTY'S MAIN LATERAL SEWER/DRAIN LINE PRIOR TO THE MAIN SEWER/DRAIN LINE CONNECTION TO THE EXISTING MAIN RESIDENCE.**
- NEW FIXTURES SHALL MEET THE FOLLOWING WATER CONSERVATION PROVISIONS:
 - SHOWER HEADS 1.8 GPM @ 80 PSI
 - LAVATORY FAUCETS 1.2 GPM @ 60 PSI MAXIMUM
0.8 GPM @ 20 PSI MINIMUM
 - KITCHEN FAUCETS 1.8 GPM @ 60 PSI
 - WATER CLOSETS 1.28 GAL/FLUSH
- SHOWER DOORS SHALL BE TEMPERED GLASS AND SWING OUT.
- ALL HOSE BIBS MUST BE PROTECTED BY AN ANTI SIPHON DEVICE.
- ANTI-SCALDING OR THERMOSTATIC MIXING VALVES ARE REQUIRED AT SHOWERS AND TUB/SHOWER COMBINATIONS.
- WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH CPC SECTION 604.1.2 OF THE CALIFORNIA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 604.1.2 OF THE CPC, INSTALLATION STANDARDS OF APPENDIX I OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.
- WATER HEATERS SHALL HAVE A TEMPERATURE AND PRESSURE RELIEF VALVE. THE POINT OF DISCHARGE FOR RELIEF VALVE SHALL BE IN ACCORDANCE WITH CPC SECTION 608.7.

CALIFORNIA MECHANICAL CODE

- A DOMESTIC CLOTHES DRYER DUCT SHALL BE OF METAL AND A MINIMUM OF 4" IN DIAMETER. THE EXHAUST DUCT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14', INCLUDING TWO 90-DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90-DEGREE ELBOW IN EXCESS OF TWO. **THE DRYER SHALL BE VENTED TO THE OUTSIDE AIR.**
- A DRYER COMPARTMENT/CLOSET SHALL BE PROVIDED WITH A MINIMUM OPENING OF 100 SQUARE INCHES FOR MAKEUP AIR IN THE DOOR OR BY OTHER APPROVED MEANS.
- CONDENSATE LINES FROM MECHANICAL EQUIPMENT SHALL DISCHARGE TO A PLUMBING FIXTURE OR STORM DRAIN BY MEANS OF AN INDIRECT WASTE PIPE. CONDENSATE LINES SHALL NOT TERMINATE IN LANDSCAPE OR YARD AREAS.
- WHEN APPROVED, THE ENGINEER OF RECORD, ARCHITECT OR PLANS PREPARER SHALL PROVIDE MANUFACTURER'S DETAILS AND SPECIFICATIONS FOR VENTING OF TANKLESS WATER HEATERS.

CALIFORNIA ELECTRICAL CODE

- THE ENGINEER OF RECORD, ARCHITECT OR PLANS PREPARER SHALL PROVIDE DETAILS TO THE CITY INSPECTOR, UPON REQUEST, SHOWING THE LOCATION AND SIZE OF THE MAIN SERVICE PANEL (MSP) AND THE SOURCE OF POWER FOR THE APPROVED ADU.
- SMOKE ALARMS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:
 - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
 - IN EACH ROOM USED FOR SLEEPING PURPOSES.
 - SMOKE ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTUATION OF ONE SMOKE ALARM ACTIVATES ALL ALARMS.
 - SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING'S WIRING WITH BATTERY BACKUP.
 - APPROVED COMBINED SMOKE ALARMS AND CARBON MONOXIDE ALARMS ARE ACCEPTABLE.

APPROVED CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS AT THE FOLLOWING LOCATIONS:

- CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING'S WIRING WITH BATTERY BACKUP.
 - CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTUATION OF ONE CO ALARM ACTIVATES ALL CO ALARMS.
 - LOCATE CARBON MONOXIDE ALARMS OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - LOCATED CARBON MONOXIDE ALARMS ON EVERY LEVEL OF A DWELLING UNIT.
 - APPROVED COMBINED SMOKE ALARMS AND CARBON MONOXIDE ALARMS ARE ACCEPTABLE.
- RECEPTACLES WILL BE PROVIDED AROUND THE PERIMETER OF HABITABLE ROOMS SO THAT A RECEPTACLE IS LOCATED WITHIN 6 FEET FROM ANY POINT ALONG THE WALL, INCLUDING ONE ON WALLS 2 FEET AND WIDER.
 - ALL KITCHEN AND DINING AREA COUNTERS RECEPTACLES SHALL BE INSTALLED AT ALL COUNTER SPACES 12 INCHES OR WIDER, LOCATED SO THAT NO POINT, MEASURED ALONG THE WALL, IS MORE THAN 24 INCHES FROM A RECEPTACLE. RECEPTACLES SERVING ISLANDS OR PENINSULAS COUNTERS SHALL BE ABOVE OR WITHIN 12 INCHES BELOW THE TOP AND LOCATED SO THAT NO POINT IS MORE THAN 24 INCHES FROM AN OUTLET.
 - A RECEPTACLE SHALL BE INSTALLED IN HALLWAYS MORE THAN 10 FEET IN LENGTH.
 - AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET (FIXTURE) SHALL BE INSTALLED IN EVERY HABITABLE ROOM, BATHROOM AND HALLWAY WITH ELECTRICAL POWER, AND AT ALL EXTERIOR DOORS.
 - RECEPTACLES SHALL BE INSTALLED IN THE FRONT AND REAR YARDS OF THE DWELLING AND SHALL BE PROTECTED WITH A GFCI AND WATERPROOF.
 - ALL RECEPTACLES IN/NEAR BATHROOM, OUTDOORS, KITCHEN (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), SINKS, BATHTUBS AND LAUNDRY AREAS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI) PROTECTION.
 - ALL BRANCH CIRCUITS SUPPLYING RECEPTACLES IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI).
 - IN EVERY DWELLING UNIT, FIXED APPLIANCES SUCH AS FOOD WASTE GRINDERS, DISHWASHERS, WASHING MACHINES, DRYERS, LAUNDRY TRAY LOCATIONS, BUILT-IN REFRIGERATORS OR FREEZERS, FURNACES, AC UNITS, BUILT-IN HEATERS OR ANY OTHER FIXED APPLIANCE WITH A MOTOR OF 1/4 H.P. OR LARGER SHALL BE ON A SEPARATE 20 AMP. BRANCH CIRCUIT.

- RECEPTACLES SHALL BE LISTED AS TAMPER-RESISTANT FOR ALL 15 AND 20 AMPERE RECEPTACLES IN DWELLING UNIT FAMILY, DINING, LIVING, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS AND AREAS.
- 120-VOLT RECEPTACLE SHALL BE LOCATED WITHIN 25' OF THE EQUIPMENT FOR SERVICE AND MAINTENANCE PURPOSES.
- AN APPROVED INDEPENDENT ELECTRICAL DISCONNECT IS REQUIRED FOR EACH PIECE OF EQUIPMENT WITHIN SIGHT OF THE EQUIPMENT, WHEN SUPPLY VOLTAGE IS GREATER THAN 50 VOLTS.
- THE KITCHEN SHALL BE PROVIDED WITH A MINIMUM OF TWO OR MORE 20AMP SMALL APPLIANCE BRANCH CIRCUITS.
- LAUNDRY AREAS SHALL BE PROVIDED WITH AT LEAST ONE 20AMP BRANCH CIRCUIT.
- BATHROOMS SHALL BE PROVIDED WITH ONE OR MORE 20AMP BRANCH CIRCUITS.
- LIGHTING CONTROL FOR BEDROOMS, FAMILY ROOM, OFFICE, GAME ROOM, AND KITCHEN TO BE ON DIMMERS.
- LIGHTING CONTROL FOR BATHROOMS TO BE ON VACANCY SENSORS.
- ALL EXTERIOR LIGHTING TO BE CONTROLLED BY PHOTO SENSOR TO TURN OFF WITH SUNLIGHT OR TIMER.
- CONDUCTORS NORMALLY USED TO CARRY CURRENT SHALL BE OF COPPER.
- PROVIDE UFER OR OTHER APPROVED GROUND PER CEC SECTION 250-50.
- OUTDOOR LIGHTING SHALL BE PROVIDED AT EACH EXTERIOR DOOR.
- A WORK LIGHT, SWITCH, AND RECEPTACLE OUTLET IS REQUIRED FOR ATTICS, WHERE THE SPACE IS USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. THE LIGHTING OUTLET SHALL BE PROVIDED AT OR NEAR THE EQUIPMENT REQUIRING SERVICING.

CALIFORNIA ENERGY CODE COMMENTS

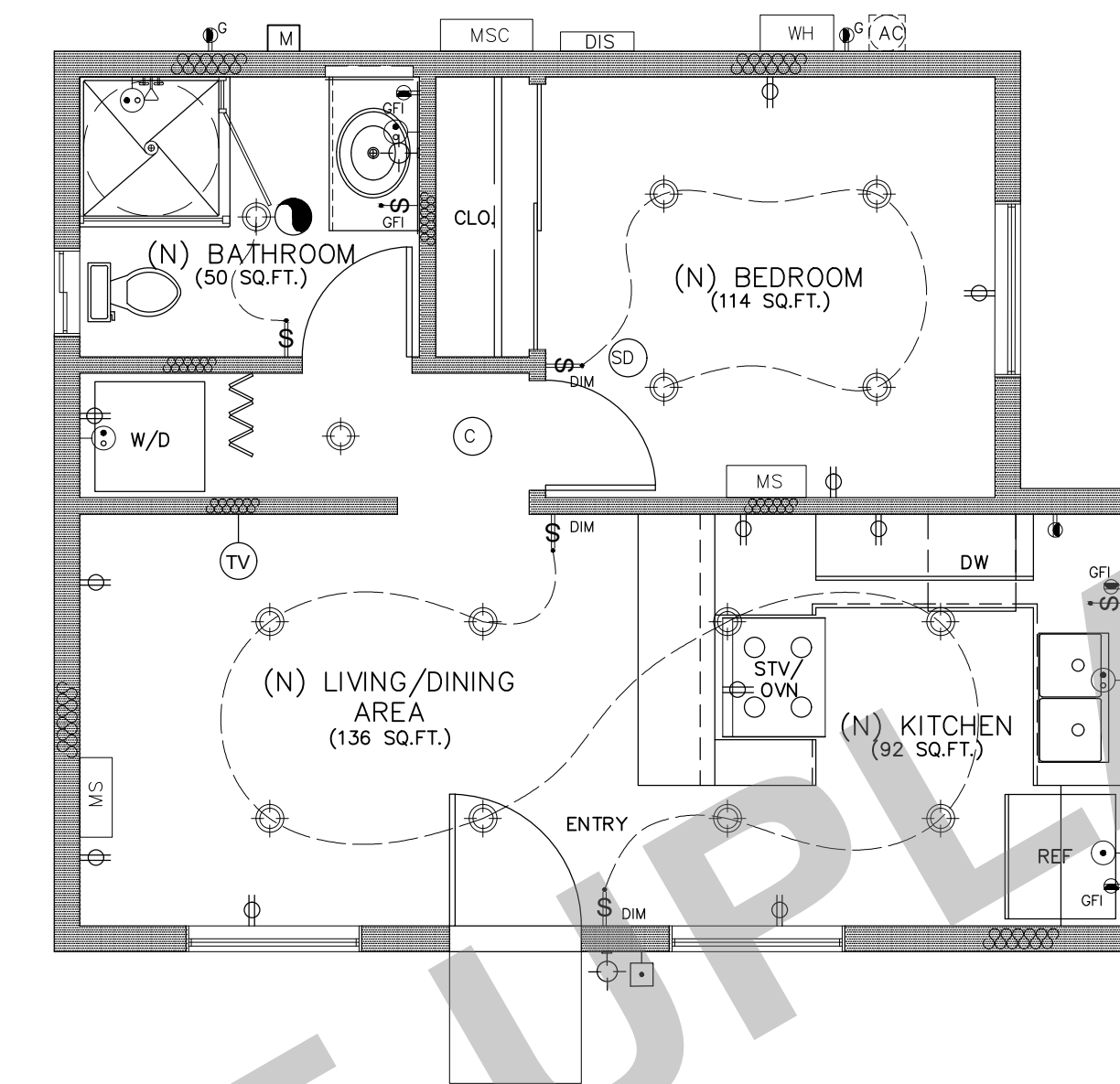
- RECESSED LIGHTS INSTALLED IN AN INSULATED CEILING OR CAVITY ARE REQUIRED TO HAVE A ZERO CLEARANCE INSULATION COVER (IC), BE ASTM E 283 CERTIFIED THAT THEY ARE AIR TIGHT, AND SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE CEILING.
- OUTDOOR LIGHTING ATTACHED TO A BUILDING MUST BE HIGH EFFICACY, OR CONTROLLED BY A MOTION SENSOR WITH AN INTEGRAL PHOTO-CONTROL.
- ALL NEW GLAZING SHALL BE INSTALLED WITH LABELS TO REMAIN IN PLACE FOR INSPECTION.
- ROOMS CONTAINING A SHOWER SHALL BE MECHANICALLY VENTILATED. A MINIMUM RATE OF 50CFM IS REQUIRED. UPON REQUEST FROM THE CITY INSPECTOR, THE ENGINEER OF RECORD, ARCHITECT OR PLANS PREPARER SHALL PROVIDE DETAILS FOR DUCTING SIZE AND LENGTHS TO MEET THE MINIMUM REQUIREMENTS OF ASHRA STANDARD 62.2 AND MAXIMUM SOUND RATING OR 3 SONE FOR INTERMITTENT OPERATION.
- THE 2022 CGBSC MANDATORY MEASURES ARE APPLICABLE TO THIS PROJECT.
- SHOW ON THE FINAL PLANS THE CODE-REQUIRED SOLAR VOLTAIC SYSTEM CITED IN CENC SECTION150.1(C)14.

CALIFORNIA GREEN BUILDING STANDARDS CODE

- THE CODE-REQUIRED EV CHARGING CONDUIT AND CONDUCTORS CITED IN THE CGBSC SECTION 4106.4.1 ARE APPLICABLE TO THIS PROJECT.

UTILITY LAYOUT

1/4" = 1'-0"



UTILITY LEGEND

	NEW WALL		HOT / COLD WATER
	DOUBLE SWITCH		COLD WATER
	SINGLE SWITCH		BATTERY OPER. SMOKE DETECT.
	ELECTRICAL PANEL / METER		CARBON DETECT.
	GAS METER		HARD WIRE SMOKE DETECT. W/ BATT
	WALL FURNACE		MECH. VENT/5 AIR CHANGE
	DUPLEX OUTLET @ 15' F.F.		CHIME
	GROUND FAULT INT. OUTLET		TELEPHONE OUTLET
	SINGLE SWITCH W/ POWER OUTLET		DOOR BELL
	OUTLET AT 3'-6" F.F.		TANKLESS (INSTANTANEOUS) WATER HEATER
	RECESSED LIGHT		AC CONDENSER
	CEILING MOUNTED LIGHT		AC CONDENSER DISCONNECT
	WALL MOUNTED LIGHT		MINI-SPLIT UNIT
	THERMOSTAT		MINI-SPLIT CONDENSER
	T.V. ANTENNA / CABLE OUTLET		ELECTRICAL METER



PROJECT
PROJECT NAME
PROJECT ADDRESS



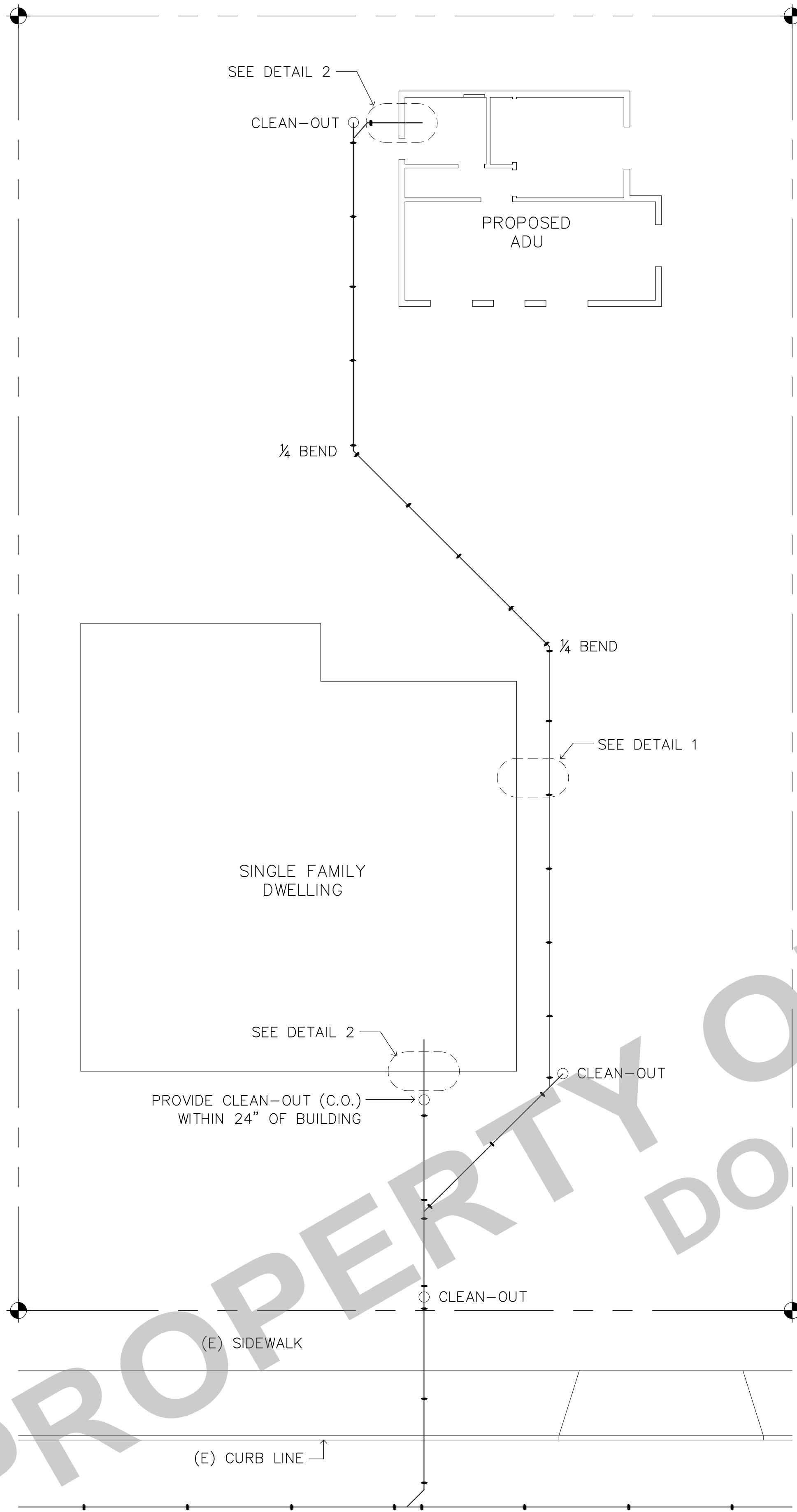
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OWNER
SCALE
PROJECT NO. 230023
DATE 08-09-2023

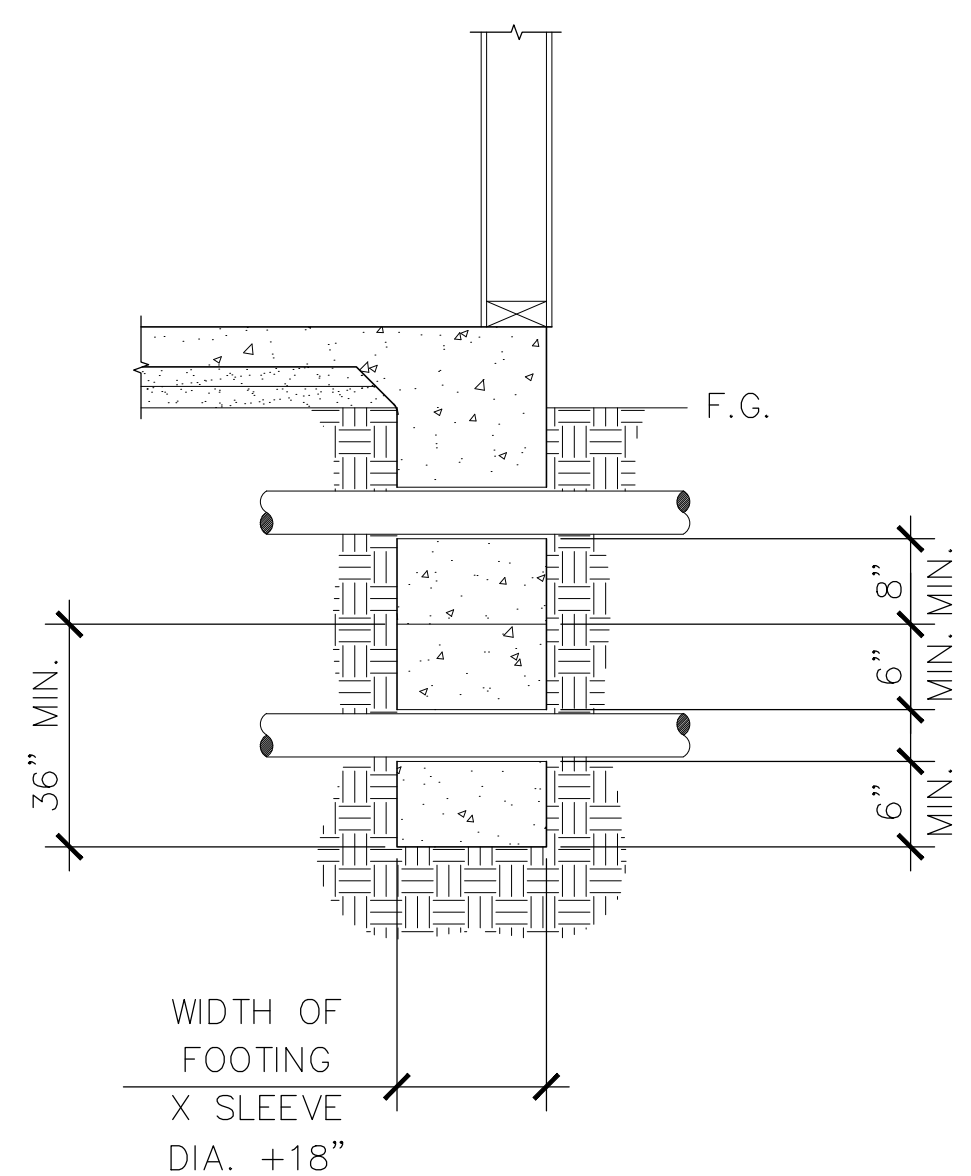
STYLE

DESCRIPTION
UTILITY LAYOUT PLAN & NOTES

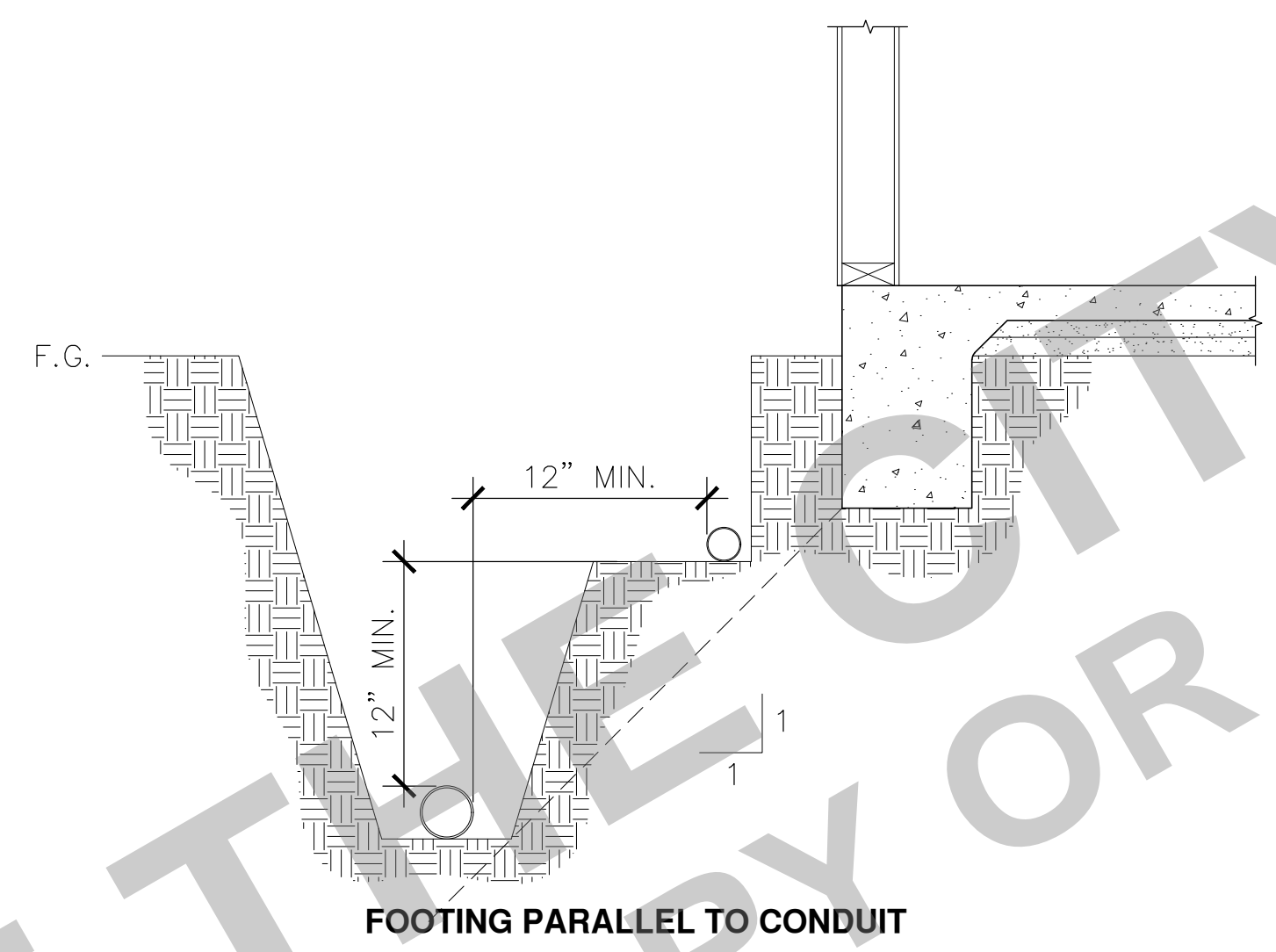
SHEET
UT-1



SEWER TYPICAL ON LOT
N.T.S.

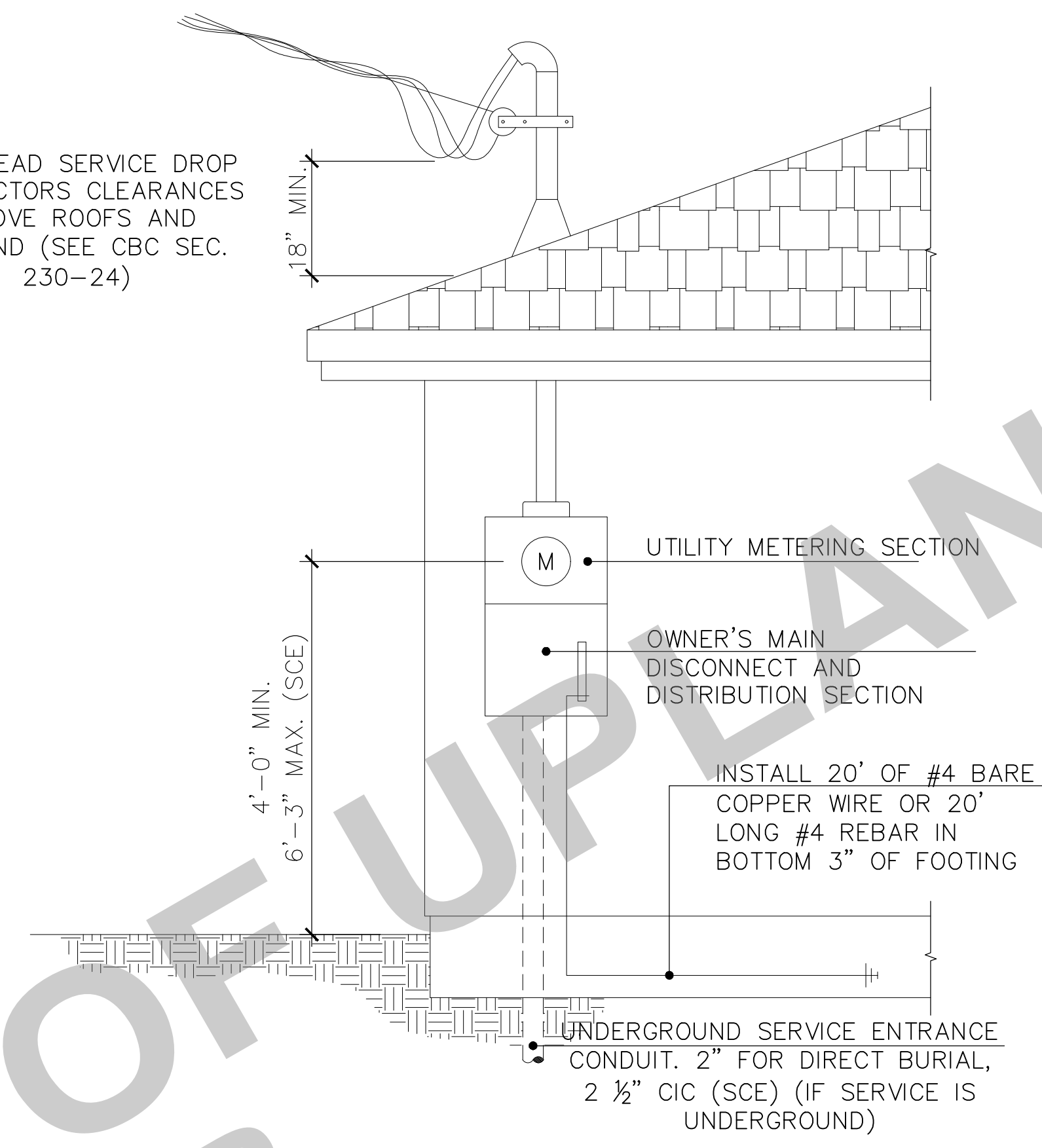


DETAIL 1



DETAIL 2

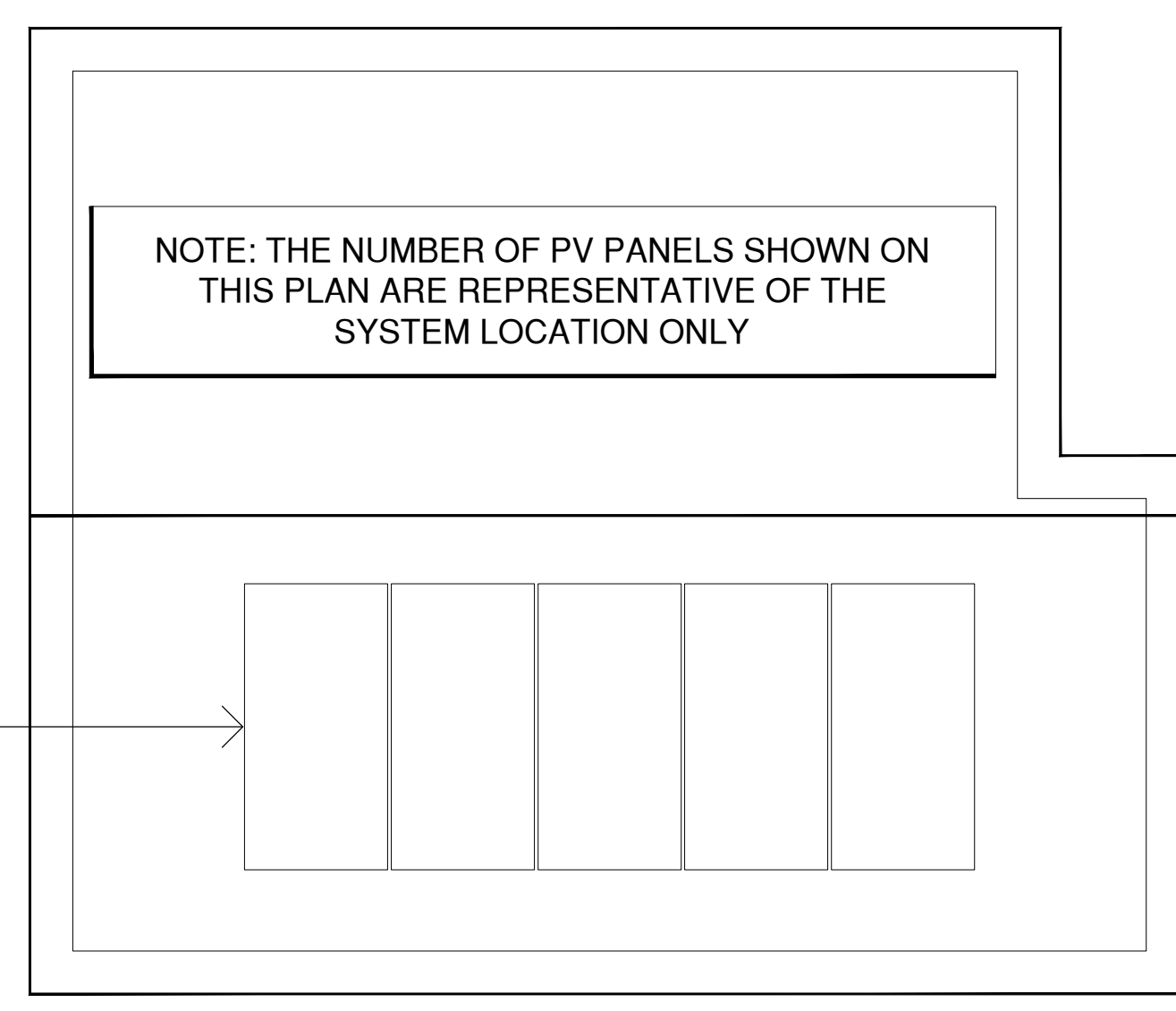
OVERHEAD SERVICE DROP CONDUCTORS CLEARANCES ABOVE ROOFS AND GROUND (SEE CBC SEC. 230-24)



3 WIRE, 1 Ø AMP RATING OF SERVICE	SIZE OF SERVICE ENTRANCE CONDUCTOR (THW)		STEEL RIGID GALVANIZED CONDUIT SIZE FOR OVERHEAD SERVICE			GROUNDING ELECTRODE CONDUCTOR	
	COPPER	ALUMINUM	CU COND.	AL COND.	MAX. HT.		
100	#4	#2	1 1/4"	1 1/4"	30"	#8	#6
125	#2	1/0	1 1/4"	1 1/2"	40"	#8	#6
150	#1	2/0	1 1/4"	1 1/2"	40"	#6	#4
175	1/0	3/0	1 1/2"	2"	60"	#6	#4
200	2/0	4/0	1 1/2"	2"	60"	#4	#2

MINIMUM 100 AMP RESIDENTIAL SERVICE. ALL ELECTRICAL EQUIPMENT SHALL BE LISTED BY AN APPROVED TESTING AGENCY.

ELECTRICAL SERVICE PANEL DETAIL



CONSTRUCT 2.94kw (MIN.) PV SOLAR PANEL SYSTEM PER CF1R TITLE 24 REQUIREMENTS cEnC, EQUATEION 150.1-C

SOLAR SYSTEM LAYOUT
N.T.S.



PROJECT
PROJECT NAME
PROJECT ADDRESS



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OWNER
SCALE
PROJECT NO. 230023
DATE 08-09-2023

STYLE

DESCRIPTION
UTILITY DETAILS

SHEET
UT-2

MINIMUM CONSTRUCTION REQUIREMENTS

GENERAL NOTES

- THE CONTRACTOR/HOMEOWNER SHALL BE FULLY RESPONSIBLE FOR METHODS OF CONSTRUCTION, WORKMANSHIP, AND JOB SAFETY. WORKMANSHIP AND MATERIALS, INCLUDING FALSEWORK, BRACINGS, AND OTHER TEMPORARY ITEMS SHALL CONFORM TO THE GOVERNING CODES AND JOB SAFETY REQUIREMENTS PER OSHA STANDARDS.
- CONSTRUCTION SAFETY PROVISIONS IN ACCORDANCE WITH THE BUILDING CODE SHALL BE PROVIDED AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO STARTING ANY WORK ON THE BUILDING. PERMITS FOR PROTECTIVE FENCES AND FOR CANOPIES CONSTRUCTED ON PUBLIC PROPERTY MUST BE SECURED FROM THE DEPARTMENT OF BUILDING AND SAFETY.
- CONSTRUCTION, INSPECTION AND PHYSICAL TESTING PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE GOVERNING CODES AND THE AMENDMENTS BY THE LOCAL JURISDICTION.
- CONSTRUCTION LOADING SHALL NOT EXCEED THE DESIGN LIVE LOAD UNLESS SPECIAL, SHORING IS PROVIDED. ALLOWABLE LOADS SHALL BE REDUCED IN AREAS WHERE THE STRUCTURE HAS NOT ATTAINED ITS FULL DESIGN STRENGTH.
- THE CONTRACTOR/HOMEOWNER SHALL PROVIDE A LEVEL TOP SURFACE FOR ALL SLABS IN ACCORDANCE WITH THE LEVELNESS TOLERANCE REQUIRED FOR ALL FINISHES, PARTITIONS, BUILT-IN CABINETS AND COUNTERS, ETC. THE CONTRACTOR SHALL ADJUST ALL BEAM SIDE FORMS TO ALLOW FOR AS-DELIVERED CAMBERS OF STEEL MEMBERS AND TO MAINTAIN THE MINIMUM DEPTH OF CONCRETE SLAB/TOPPING AT MIDSPAN OF THE STEEL MEMBERS.
- PROVIDE NON-SLIP FINISH ON ALL CONCRETE STAIR TREADS, EXPOSED FLATWORK, AND WHERE SPECIFIED ON WORKING DRAWINGS.
- ANY SUPPORT SERVICES PERFORMED BY THE ENGINEER DURING CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES WHICH ARE FURNISHED BY THE ENGINEER, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, BUT THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
- WHERE PUBIC UTILITY LINES OR EQUIPMENT MUST BE REMOVED AND RELOCATED, OBTAIN THE NECESSARY APPROVALS PRIOR TO STARTING CONSTRUCTION FROM THE RESPECTIVE UTILITY AGENCIES.
- CONTROL JOINTS SHALL BE INSTALLED IN SLAB-ON-GRADES SO THE SLAB'S LENGTH-TO-WIDTH RATIO IS NOT MORE THAN 1.25:1. CONTROL JOINTS SHALL BE COMPLETED WITHIN 12 HOURS OF CONCRETE PLACEMENT AND THE JOINT DEPTH SHALL BE 1/4 THE SLAB THICKNESS.
- ALL TEMPORARY SHORING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/HOMEOWNER, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. CONTRACTOR SHALL PROVIDE A COPY OF SHORING PLANS TO THE ENGINEER PRIOR TO INSTALLATION.

GOVERNING CODES:

- THE DESIGN COMPLIES TO THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC), THE 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CALIFORNIA PLUMBING CODE (CPC), -2022 CALIFORNIA MECHANICAL CODE (CMC), 2022 CALIFORNIA ELECTRICAL CODE (CEC) AND THE 2022 CALIFORNIA ENERGY CODE (CENC) AND WITH AMENDMENTS MADE BY THE LOCAL JURISDICTION.
- CONSTRUCTION IN ACCORDANCE WITH THE GOVERNING CODES AND THE WORKING DRAWINGS DOES NOT GUARANTEE PROTECTION FROM LOSS OF LIFE OR INJURY OR PROPERTY DAMAGE.

DRAWING NOTES:

- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL SPECIFICATIONS. DIMENSIONS FOR CONSTRUCTION SHALL NOT BE SCALED FROM THE DRAWINGS.
- THE CONTRACTOR/HOMEOWNER SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. WHERE ACTUAL CONDITIONS CONFLICT WITH THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS, DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT OR ENGINEER OF RECORD PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR/HOMEOWNER SHALL ALLOW REASONABLE TIME FOR THE ARCHITECT OR ENGINEER OF RECORD TO RESOLVE CONFLICTS AND/OR MAKE REVISIONS TO THE DRAWINGS AND/OR SPECIFICATIONS. REVISIONS TO THE DRAWINGS SHALL BE REVIEWED AND APPROVED BY THE BUILDING OFFICIAL.
- THE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE SHOWN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR/HOMEOWNER SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
- THE STAMPED SET OF DRAWINGS AND SPECIFICATIONS SHALL BE KEPT AT THE JOB SITE AND SHALL BE AVAILABLE TO THE AUTHORIZED REPRESENTATIVES OF THE BUILDING AND SAFETY DEPARTMENT. THERE SHALL BE NO DEVIATION FROM THE APPROVED PLANS AND SPECIFICATIONS WITHOUT AN APPROVED CHANGE ORDER.

WOOD AND CARPENTRY:

- LUMBER SHALL BE COAST REGION DOUGLAS FIR-LARCH GRADE WITH A MAXIMUM MOISTURE CONTENT OF 19% AND SHALL CONFORM TO THE FOLLOWING GRADES, U.N.O.
 - BEAMS AND POST SHALL BE OF #1 OR BETTER.
 - JOIST AND RAFTERS SHALL BE OF #1 OR BETTER.
 - FRAMING SUCH, AS STUDS, FURRING AND BLOCKING SHALL BE DF #2 OR BETTER.
 - SILL PLATES BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED DF #1.

- STEEL FASTENERS AND CONNECTORS SHALL BE SIMPSON OR EQUAL. FULL NAILING OR BOLTING SHALL BE USED ON SPECIFIED HARDWARE, U.N.O.
- MACHINE BOLT HOLES IN WOOD MEMBERS SHALL HAVE A DIAMETER EQUAL TO THE NOMINAL BOLT DIAMETER. LAG BOLTS IN WOOD MEMBERS SHALL BE PRE-DRILLED TO THE LAG- BOLT DIAMETER MINUS 1/8". A STEEL WASHER SHALL BE PROVIDED UNDER ALL BOLT HEADS AND NUTS THAT BEAR UPON WOOD. BOLTS SHALL BE ASTM A-307 OR BETTER.
- HOLES AND NOTCHES IN WOOD MEMBERS, UNLESS OTHERWISE DETAILED OR APPROVED BY THE ENGINEER, SHALL MEET THE FOLLOWING REQUIREMENTS: HOLES SHALL BE LOCATED ON THE CENTER OF THE MEMBER OR AT LEAST 2" FROM THE TOP OR BOTTOM OF THE MEMBER; THE DIAMETER OF THE HOLE SHALL NOT EXCEED 1/3 THE DEPTH OF THE MEMBER; NOTCHES IN THE TOP OR BOTTOM OF MEMBERS SHALL NOT EXCEED 1/6 THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN; BEAMS OR JOISTS MAY BE NOTCHED AT THE ENDS WHERE THE NOTCH DOES NOT EXCEED 1/4 OF THE BEAM DEPTH.
- CUTTING AND NOTCHING OF STUDS: STUDS IN EXTERIOR WALLS AND BEARING PARTITIONS MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. CUTTING OR NOTCHING OF STUDS IN NON-BEARING PARTITIONS SHALL NOT EXCEED 40% OF THE WIDTH.
- BORED HOLES IN STUDS: A HOLE NOT GREATER IN DIAMETER THAN 40% OF STUD WIDTH MAY BE BORED IN ANY WOOD STUD. BORED HOLES NOT GREATER THAN 60% OF THE WIDTH OF THE STUD ARE PERMITTED IN NONBEARING PARTITIONS. IN NO CASE SHALL THE EDGES OF THE BORED HOLE BE NEARER THAN 5/8" TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.
- WOOD MEMBERS BOLTED TO CONCRETE SHALL HAVE A MINIMUM OF 2 BOLTS PER MEMBER, WITH AT LEAST ONE BOLT WITHIN 12" FROM EACH MEMBER END. WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- STUD PARTITION WALLS AND JOISTS CONTAINING PLUMBING, HEATING OR OTHER PIPES SHALL BE FRAMED TO GIVE PROPER CLEARANCE FOR THE PIPING. WHERE A PARTITION CONTAINING SUCH PIPING RUNS PARALLEL TO FLOOR JOISTS, THE JOIST UNDERNEATH SUCH PARTITION SHALL BE DOUBLED AND SPACED TO PERMIT PASSAGE OF SUCH PIPES.
- ROOF AND FLOOR SHEATHING SHALL BE AS INDICATED ON THE ACCOMPANYING PLANS. STAGGER PANEL END JOINTS. NAILING TO BE INSPECTED BEFORE COVERING.
- FOUNDATION SILLS SHALL BE PRESSURE TREATED, OR FOUNDATION GRADE REDWOOD.

WOOD SHEAR WALLS:

- PLYWOOD SHEATHING SHALL CONSIST OF MINIMUM 4'X 8' PANELS WHEREVER POSSIBLE. THE MINIMUM PANEL WIDTH SHALL BE 24" WITH 2X BLOCKING MEMBERS. STUCCO APPLIED OVER PLYWOOD SHEATHING SHALL HAVE TWO LAYERS OF GRADE "D" PAPER. PLYWOOD PANELS AND FRAMING SHALL BE NAILED WITH COMMON NAILS. A MINIMUM EDGE DISTANCE OF 1/2" SHALL BE PROVIDED FOR BOUNDARY AND EDGE NAILING ON PLYWOOD SHEATHING OR FRAMING.
- WOOD SILL PLATES SHALL BE CONTINUOUS AND FREE OF CUTS AND NOTCHES. PERFORATIONS SHALL BE LIMITED TO 1 1/2" IN DIAMETER AND SHALL BE LOCATED AS CLOSE TO THE CENTER AS POSSIBLE.
- FRAMING MEMBERS WITH PLYWOOD SHEATHING ON BOTH SIDES SHALL BE OFFSET SO THAT THE PANEL JOINTS FOR EACH SIDE ARE ON DIFFERENT FRAMING MEMBERS.
- FRAMING MEMBERS, INCLUDING BLOCKING, RECEIVING NAILS SPACED AT 3" O.C. OR LESS (6" O.C. OR LESS FOR FRAMING MEMBERS WITH NAILING FROM BOTH SIDES), SHALL BE 3X NOMINAL OR WIDER. NAIL SPACING SHALL BE STAGGERED.
- HOLDOWNS CONNECTORS SHALL BE SIMPSON OR EQUAL INSTALLED ON 4X FRAMING MEMBERS AND SHALL FOLLOW INSTALLATION RECOMMENDATIONS AS SPECIFIED BY MANUFACTURER. BOLTS ON WOOD POST SHALL HAVE A MAXIMUM OVERSIZED HOLE EQUAL TO THE BOLT DIAMETER PLUS 1/16", SHALL BE TIGHT AND VERIFIED BY INSPECTOR JUST PRIOR TO INSTALLATION OF SHEATHING.
- SQUARE PLATE WASHERS, INSTEAD OF CUT WASHERS, SHALL BE PROVIDED FOR SILL PLATE ANCHOR BOLTS AND FOR WOOD POSTS AT HOLDOWN CONNECTORS BOLTS. PLATE WASHER SHALL BE SIMPSON BP WASHERS OR APPROVED PLATES WITH SAME DIMENSIONS.
- CONTRACTOR/HOMEOWNER SHALL EXERCISE ALL CARE NECESSARY WHEN USING PNEUMATIC NAILING EQUIPMENT TO INSURE THAT THE FACE PLY OF PLYWOOD SHEATHING IS NOT BROKEN BY NAILHEAD PENETRATION. CONTRACTOR/HOMEOWNER SHALL REPLACE ALL SHEATHING WITH MORE THAN 10% OF THE NAIL HEADS IN ANYONE PLYWOOD PANEL PENETRATING THE FACE PLY. PLYWOOD PANELS MAY BE RE-NAILED AS AN ALTERNATE ONLY WHEN APPROVED IN WRITING BY BOTH THE ARCHITECT/ENGINEER AND THE LOCAL AUTHORITY HAVING JURISDICTION.
- SHEAR WALLS WITH A SHEAR VALUE GREATER THAN 350 POUNDS PER FOOT SHALL USE A MINIMUM OF 3X NOMINAL MEMBERS FOR FOUNDATION SILL PLATES AND FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PLYWOOD PANELS.
- FASTENERS FOR STUCCO SHEAR WALLS SHALL BE 11 GAGE X 1 1/2" GALVANIZED WIRE LATH FURRED. 1/4" STAPLES AND SELF-FURRING LATH ARE NOT PERMITTED.
- SOLID BLOCKING SHALL BE PROVIDED AT ALL HORIZONTAL JOINTS OCCURRING IN BRACED WALL PANELS.

CONCRETE:

- CONCRETE MIXES SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD FOR APPROVAL. MATERIAL SHALL BE PROPORTIONED TO PRODUCE CONCRETE WITH THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS AT 28 DAYS, U.N.O.
 - CONTINUOUS FOOTINGS: 2,500 PSI
 - ISOLATED PADS: 2500 PSI
 - SLAB ON GRADE: 2500 PSINOTE: CONTINUOUS INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED FOR ALL CONCRETE DESIGNED WITH F'C GREATER THAN 2500 PSI
- NORMAL WEIGHT CONCRETE SHALL BE 145 TO 155 POUNDS PER CUBIC FOOT. LIGHTWEIGHT CONCRETE SHALL BE IN ACCORDANCE WITH THE APPROVED DESIGN MIX SHOWN ON THE PLANS.

- CEMENT SHALL CONFORM TO ASTM C 150, TYPE V CEMENT. FINE AND COARSE AGGREGATE SHALL CONFORM TO ASTM C33. WHEN SPECIFIED, AIR-ENTRAINING ADMIXTURES SHALL COMPLY WITH ASTM C260. READY MIX CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C94.
- MAXIMUM SIZE OF COURSE AGGREGATE FOR SLABS SHALL BE 1" AND 1 1/2" ELSEWHERE, U.N.O. SAND SHALL BE CLEAN, HARD, DURABLE, WASHED, AND FREE FROM SILT, LIME OR CLAY MIXING WATER SHALL BE CLEAN AND FREE FROM INJURIOUS AMOUNTS OF OIL, ACIDS, ALKALIS, ORGANIC MATERIALS OR OTHER DELETERIOUS SUBSTANCES. CONCRETE MIX MAY CONTAIN A POLYMER BASED WATER REDUCING ADMIXTURE. THE MAXIMUM SLUMP OF CONCRETE SHALL NOT EXCEED 6" UNLESS OTHERWISE APPROVED BY THE ARCHITECT OR ENGINEER.
- CEMENT TYPES SHALL NOT BE MIXED IN THE CONCRETE MIX. CALCIUM CHLORIDE OR FLY ASH SHALL NOT BE USED IN THE CONCRETE MIX.
- FORMWORK SHALL COMPLY WITH STANDARD PUBLICATION (ACI 347) AND THE PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, DETAILING, CARE, PLACEMENT AND REMOVAL OF THE FORMWORK AND SHORES.
- PIPES, DUCTS, SLEEVES, CHASES, ETC. SHALL NOT BE PLACED IN SLABS, BEAMS, OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED ON PLANS. CONTRACTOR SHALL OBTAIN APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, ETC. REFER TO ARCHITECTURAL AND MECHANICAL PLANS FOR LOCATIONS OF ALL PIPES, DUCTS, CHASES, ETC. ALL SUSPENDED EQUIPMENT TO BE PROVIDED WITH CRC/CBC APPROVED LATERAL OR SWAYS BRACING.

EPOXY AND MECHANICAL ANCHORS AND DOWELS:

- BOLTS AND REINFORCEMENT EMBEDDED INTO CONCRETE OR MASONRY WITH EPOXY SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND APPROVED ICC-ES/IAPMO-ES EVALUATION REPORTS.
- MINIMUM SUBSTRATE AND AMBIENT TEMPERATURE SHALL BE AS RECOMMENDED BY MANUFACTURER PRIOR TO PLACING EPOXY. THE MINIMUM AGE OF CONCRETE TO BE BONDED SHALL BE 21 DAYS, U.N.O.
- THE HOLES SHALL BE DRILLED WITH AN ELECTRO-PNEUMATIC ROTARY HAMMER DRILL USING CARBIDE TIP BITS CONFORMING TO ANSI SPECIFICATION # 894-12-1977. THE HOLES SHALL BE CLEANED OF DUST AND DEBRIS WITH A NYLON BRUSH AND A JET OF COMPRESSED AIR. HOLE DIAMETER AND DEPTH SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS UNLESS NOTED OTHERWISE.
- CLEAN MACHINE BOLTS/REINFORCING BARS SHALL BE PLACED IN CLEAN DRILLED HOLES THAT ARE PARTIALLY FILLED WITH EPOXY SO THAT SOME EXCESS EPOXY COMES OUT OF THE HOLE.
- ALL EPOXY ADHESIVE INSTALLATIONS SHALL HAVE CONTINUOUS SPECIAL INSPECTION PER THE CURRENT CODE REQUIREMENTS AND THE ICC-ES/IAPMO-ES EVALUATION REPORT.

REINFORCING STEEL:

- REINFORCING STEEL SHALL CONFORM TO ASTM 615, GRADE 60, U.N.O. STEEL BARS SHALL BE DEFORMED BARS THAT ARE FREE FROM GREASE, RUST, MILL SCALE OR ANY OTHER FOREIGN MATERIAL WHICH MAY AFFECT THE BARS ABILITY TO BOND TO THE CONCRETE. REINFORCING STEEL SHALL HAVE THE MINIMUM PROTECTIVE COVER AS FOLLOWS:
 - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
 - CONCRETE EXPOSED TO EARTH OR WEATHER, # 6 THRU # 11 BARS 2"
 - CONCRETE NOT EXPOSED TO WEATHER, NOT IN CONTACT WITH GROUND 1/2"
 - CONCRETE FOR SLABS, WALLS AND JOISTS, # 11 BARS AND SMALLER 3/4"
 - CONCRETE FOR BEAMS AND COLUMNS, INCLUDING TIES, STIRRUPS, SPIRALS 1 1/2"
 - MASONRY WALLS, PILASTER AND LINTELS REINFORCEMENT 1 1/2"
- ALL DETAILING OF REINFORCING SHALL CONFORM TO THE REQUIREMENTS OF ACI 318, ALL REINFORCING BAR BENDS SHALL BE MADE COLD. REINFORCEMENT THAT IS PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT, U.N.O.
- CONTRACTOR SHALL USE CHAIRS OR OTHER SUPPORT DEVICES RECOMMENDED BY THE CRSI TO SUPPORT THE REINFORCING BARS OR WELDED WIRE MESH PRIOR TO PLACING CONCRETE. WELDED WIRE MESH SHALL BE CONTINUOUSLY SUPPORTED AT 36" O.C. MAXIMUM.
- LAP SPLICES SHALL HAVE A MINIMUM LENGTH OF 24" OR 40 BAR DIAMETERS FOR MASONRY AND 12" OR 30 BAR DIAMETERS FOR CONCRETE, U.N.O.
- REINFORCING STEEL, ANCHOR BOLTS, DOWELS, AND WALL TIES SHALL BE SECURED IN POSITION AND INSPECTED BY THE LOCAL BUILDING INSPECTOR PRIOR TO POURING OF ANY CONCRETE OR GROUTING MASONRY.
- REINFORCEMENT TO BE WELDED TO STEEL MEMBERS SHALL CONFORM TO ASTM 706 AND SHALL REQUIRE CONTINUOUS INSPECTION.



PROJECT
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PROJECT ADDRESS



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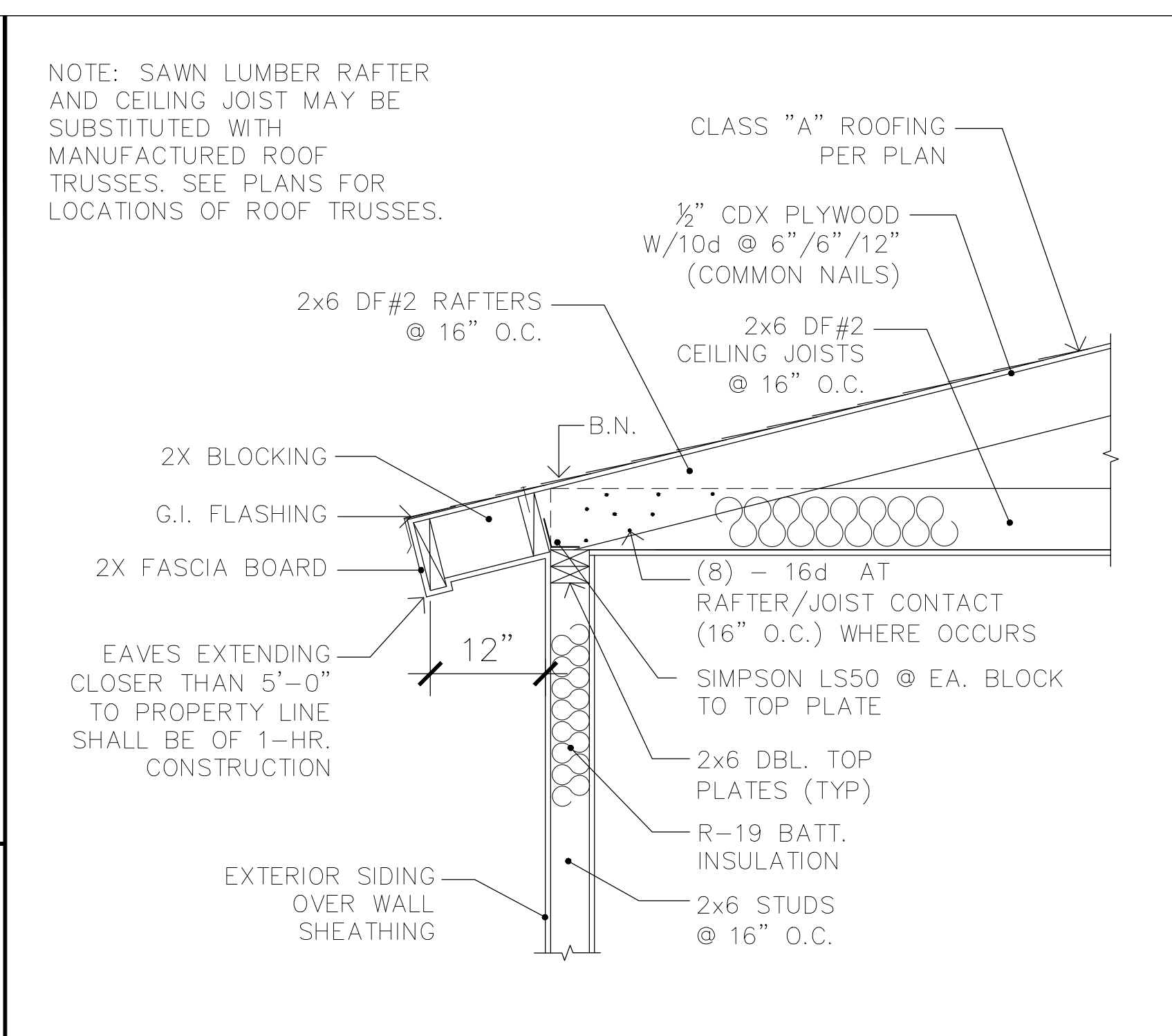
OWNER
SCALE
PROJECT NO. 230023
DATE 08-09-2023

STYLE

DESCRIPTION
MINIMUM CONSTRUCTION REQUIREMENTS GENERAL NOTES

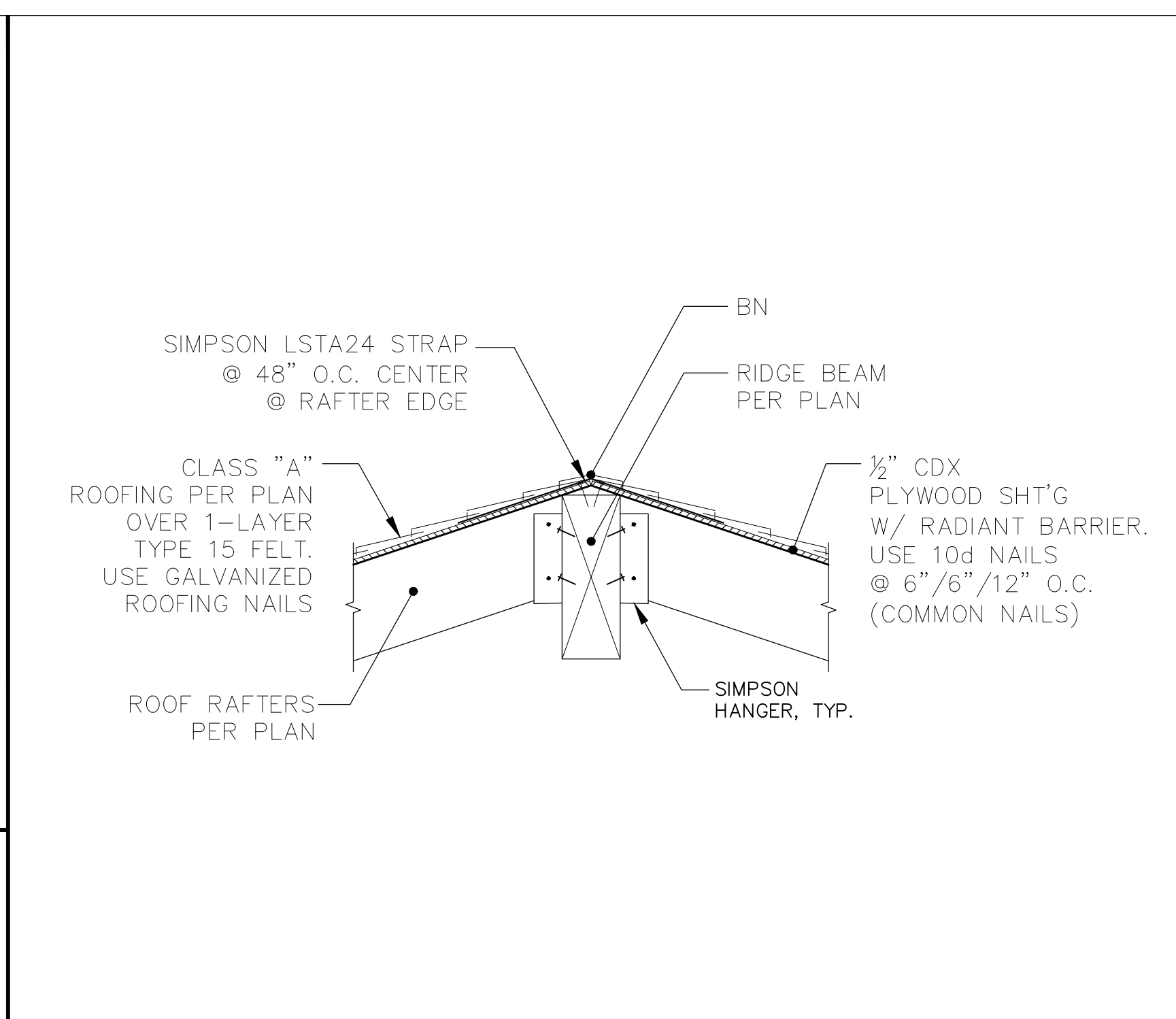
SHEET
S2

TYP. WALL / RAFTER CONNECTION



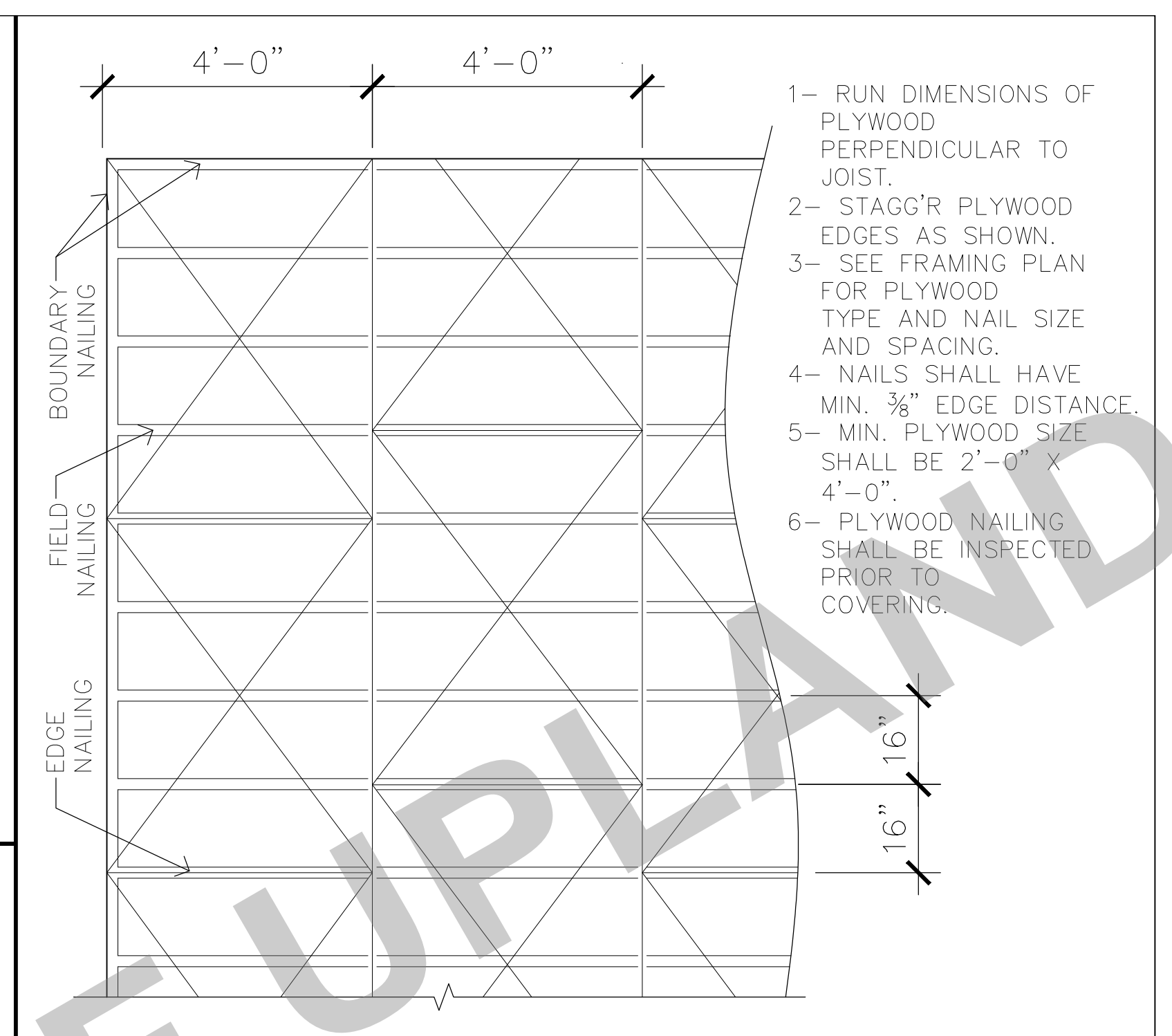
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RIDGE DETAIL



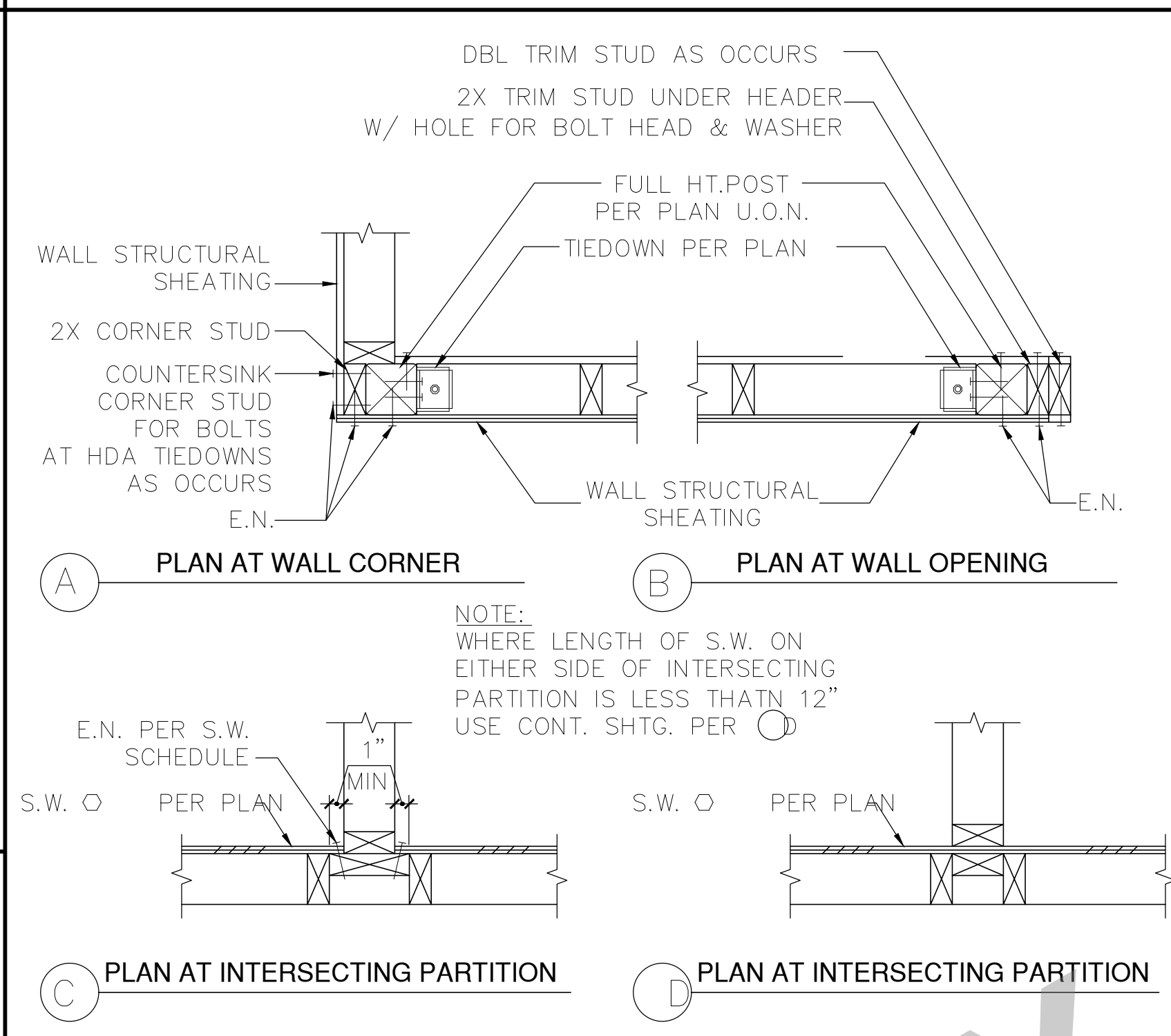
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TYP. PLYWOOD NAILING



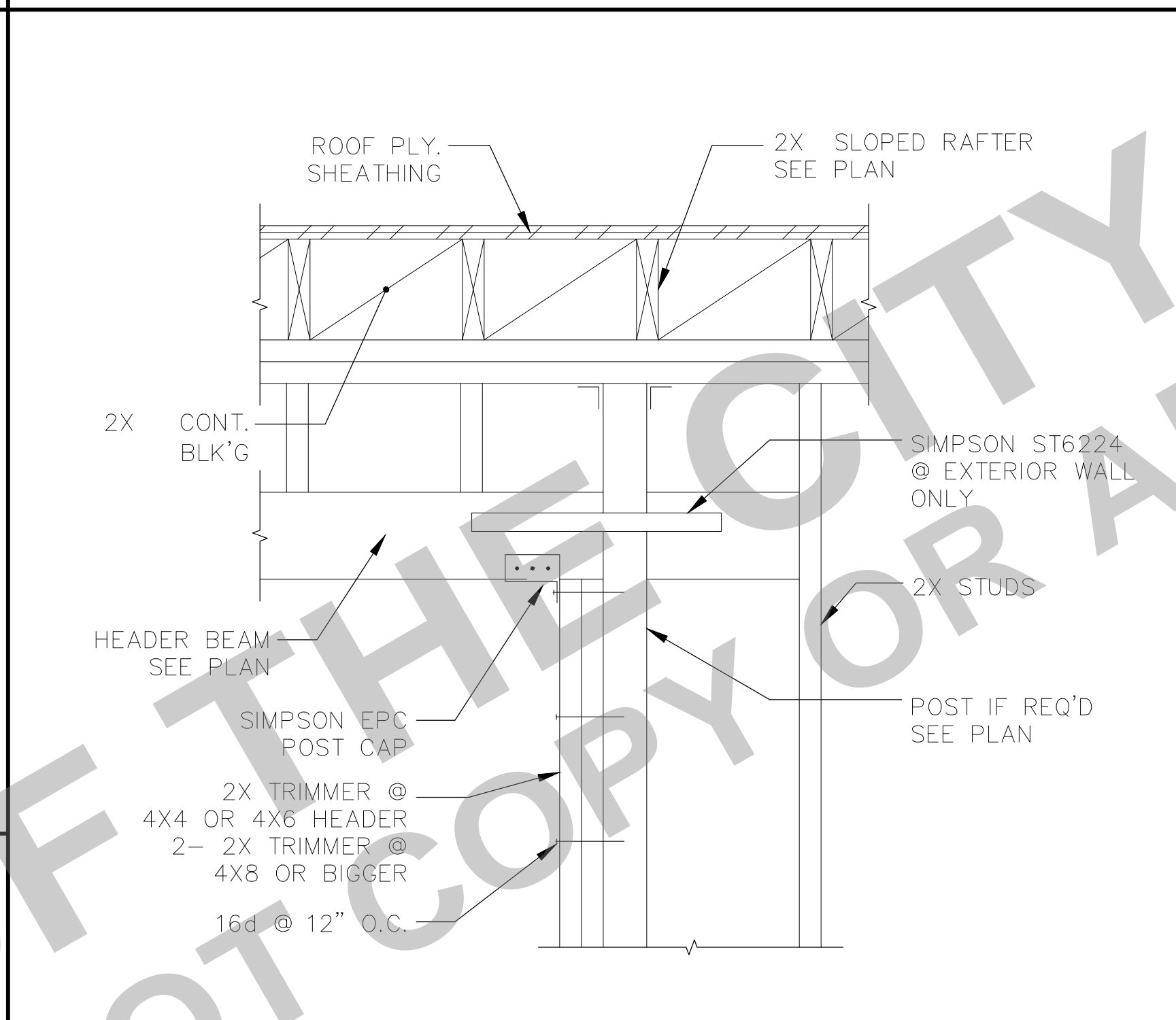
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TYP. SHEAR WALL U.O.N.



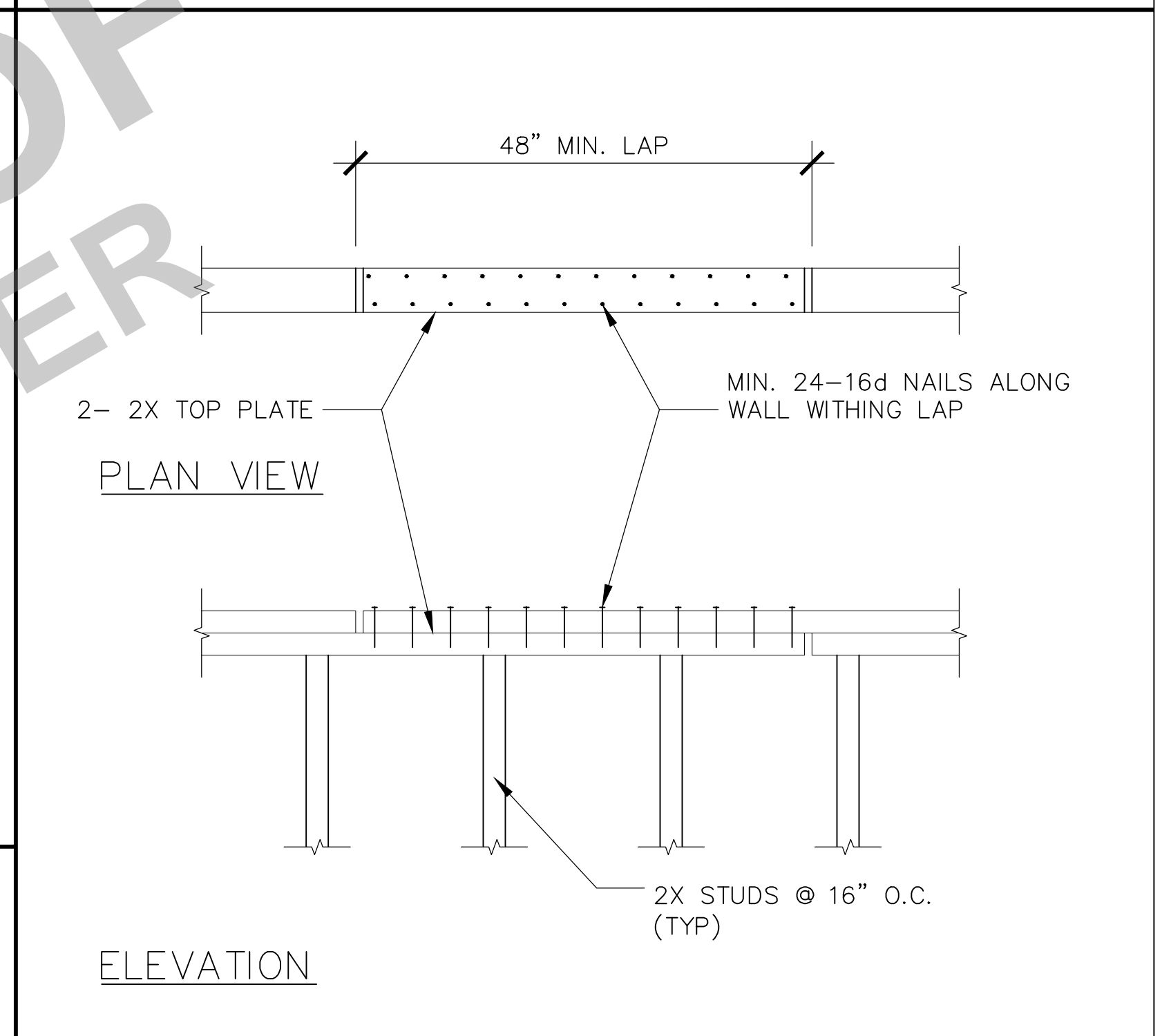
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TYP. HEADER DETAIL



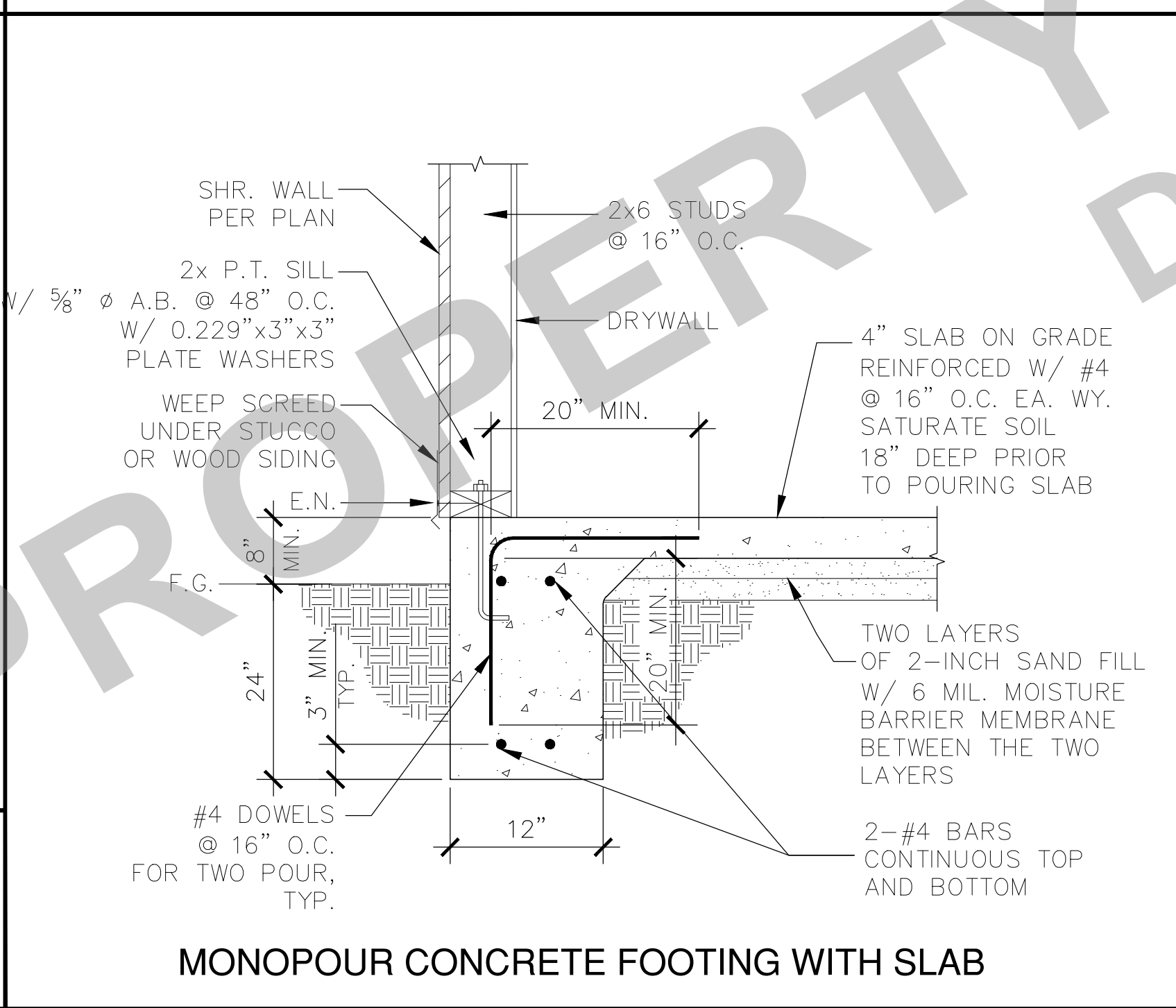
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TOP PLATE SPLICE DETAIL



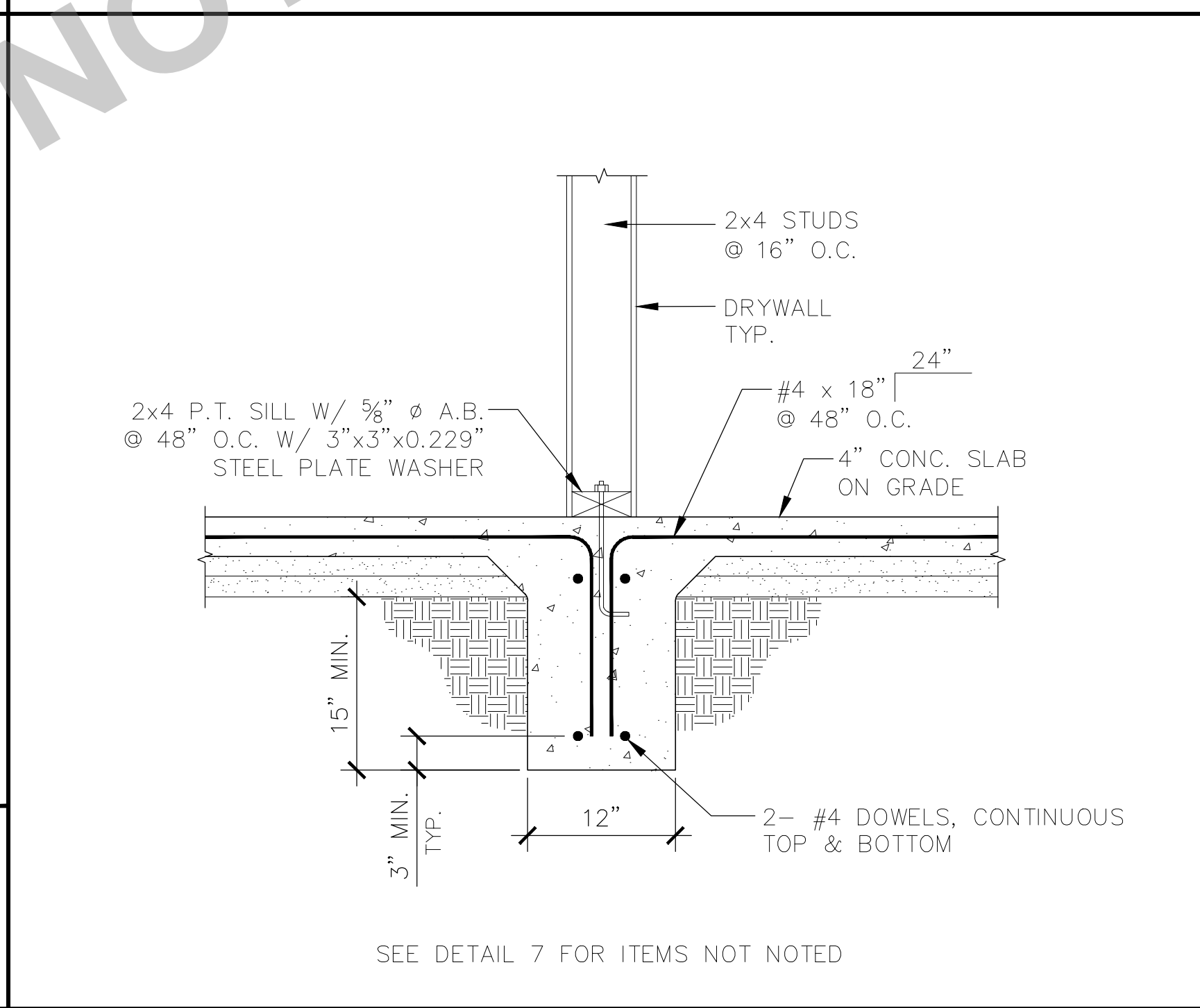
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FOOTING DETAIL



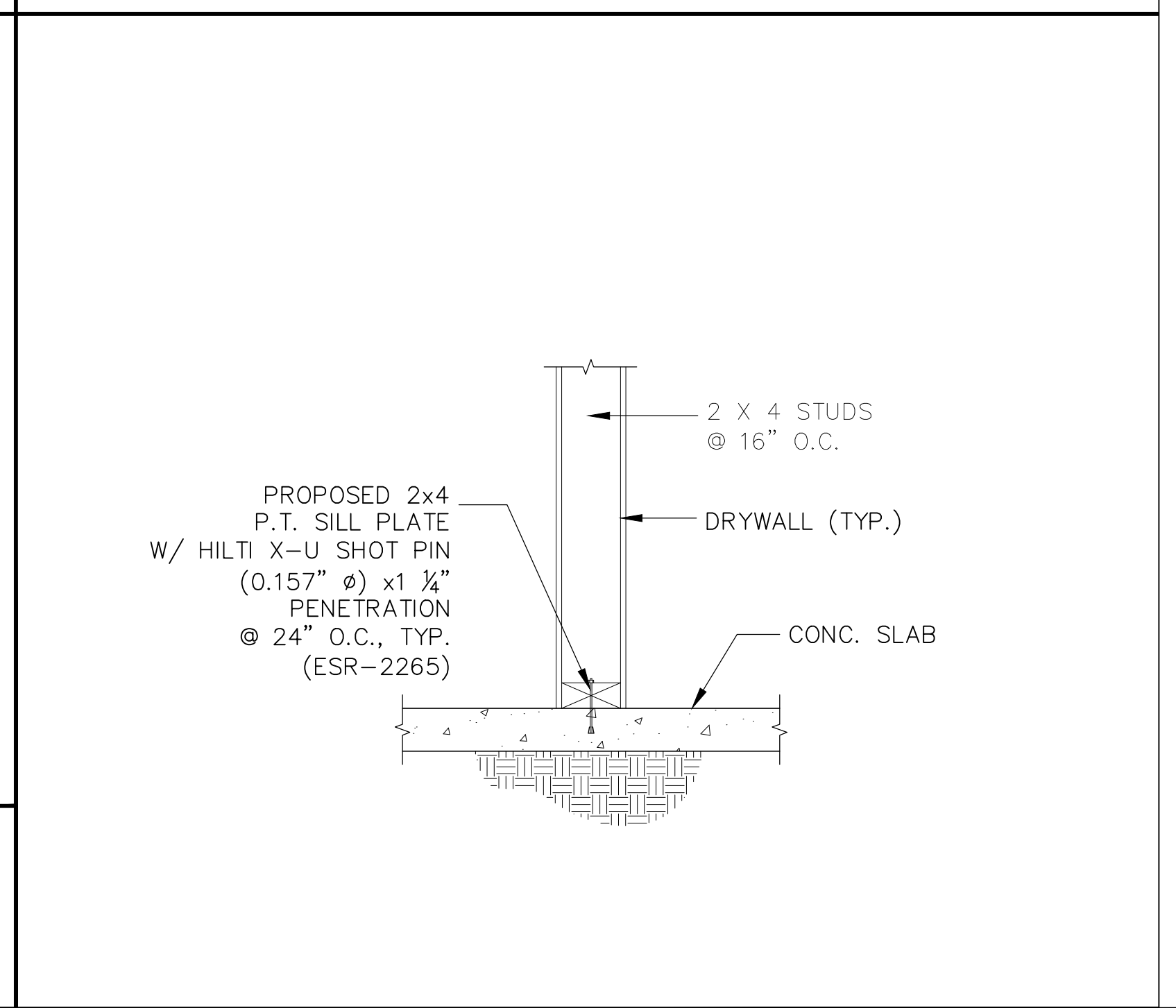
7

FOOTING DETAIL



8

INTERIOR PARTITION WALL TO SLAB



9



PROJECT
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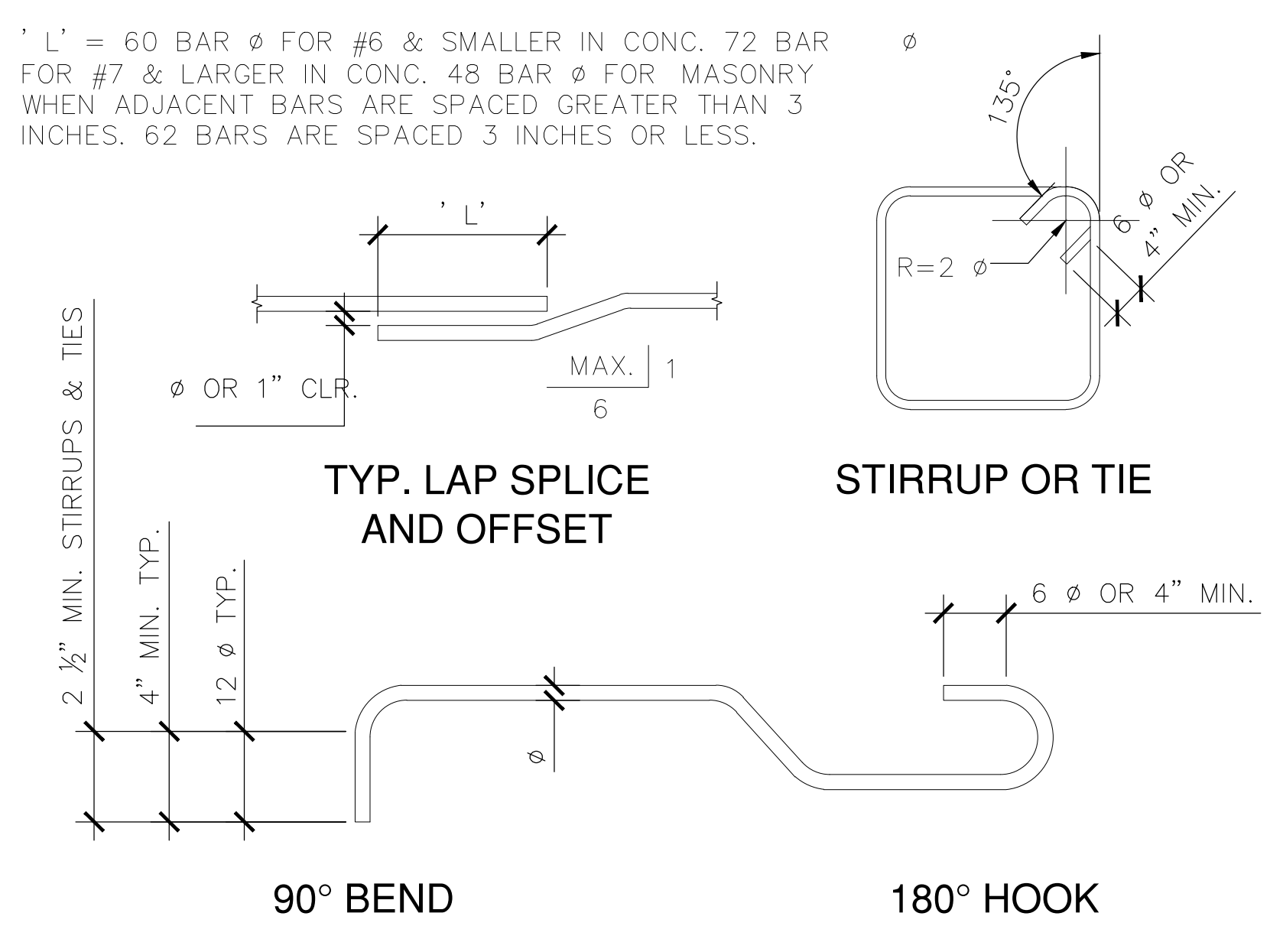
OWNER
SCALE
PROJECT NO. 230023
DATE 08-09-2023

STYLE

DESCRIPTION
STRUCTURAL DETAILS

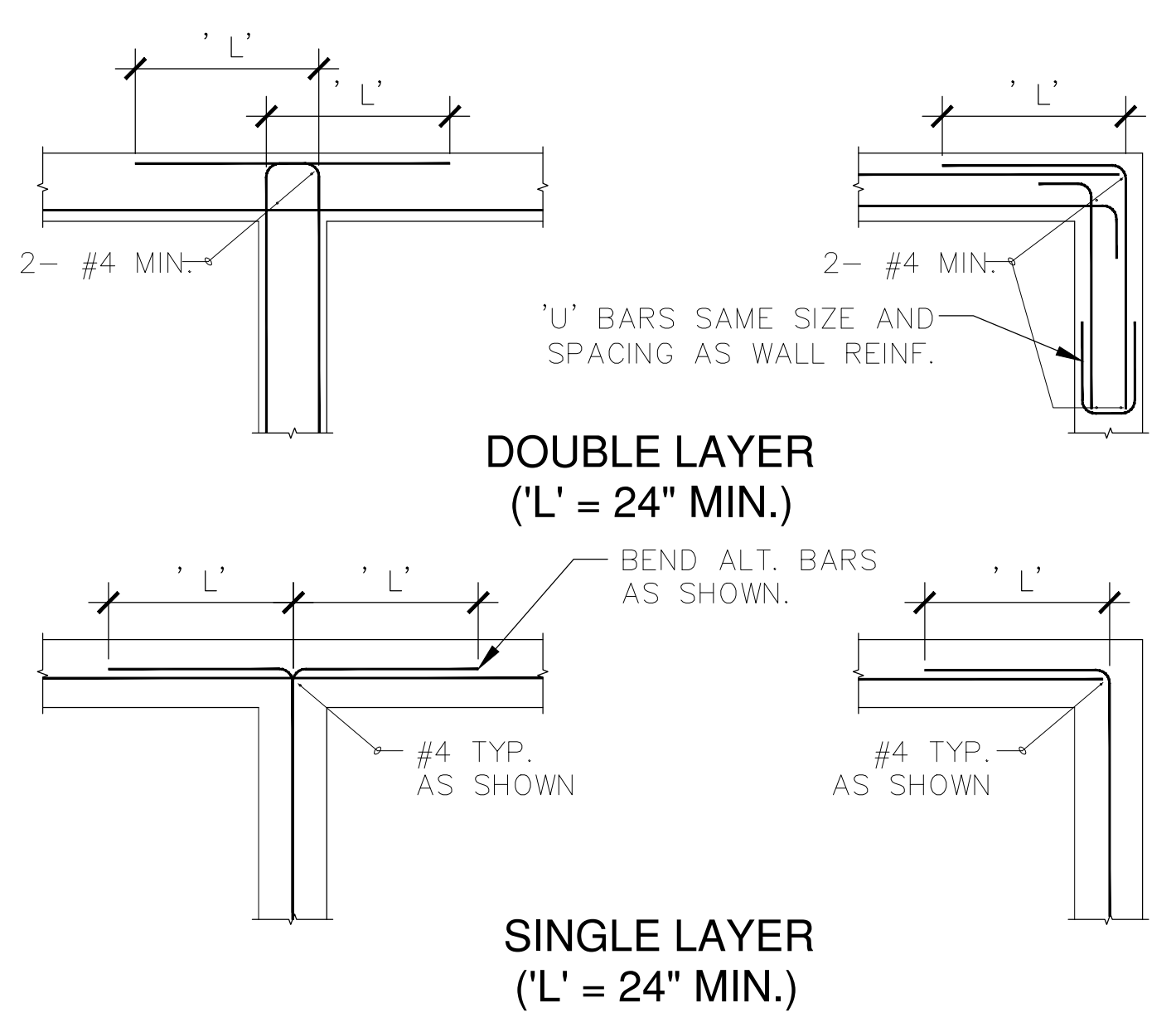
SHEET
SD1

TYP. REBAR HOOKS, BENDS & SPLICES



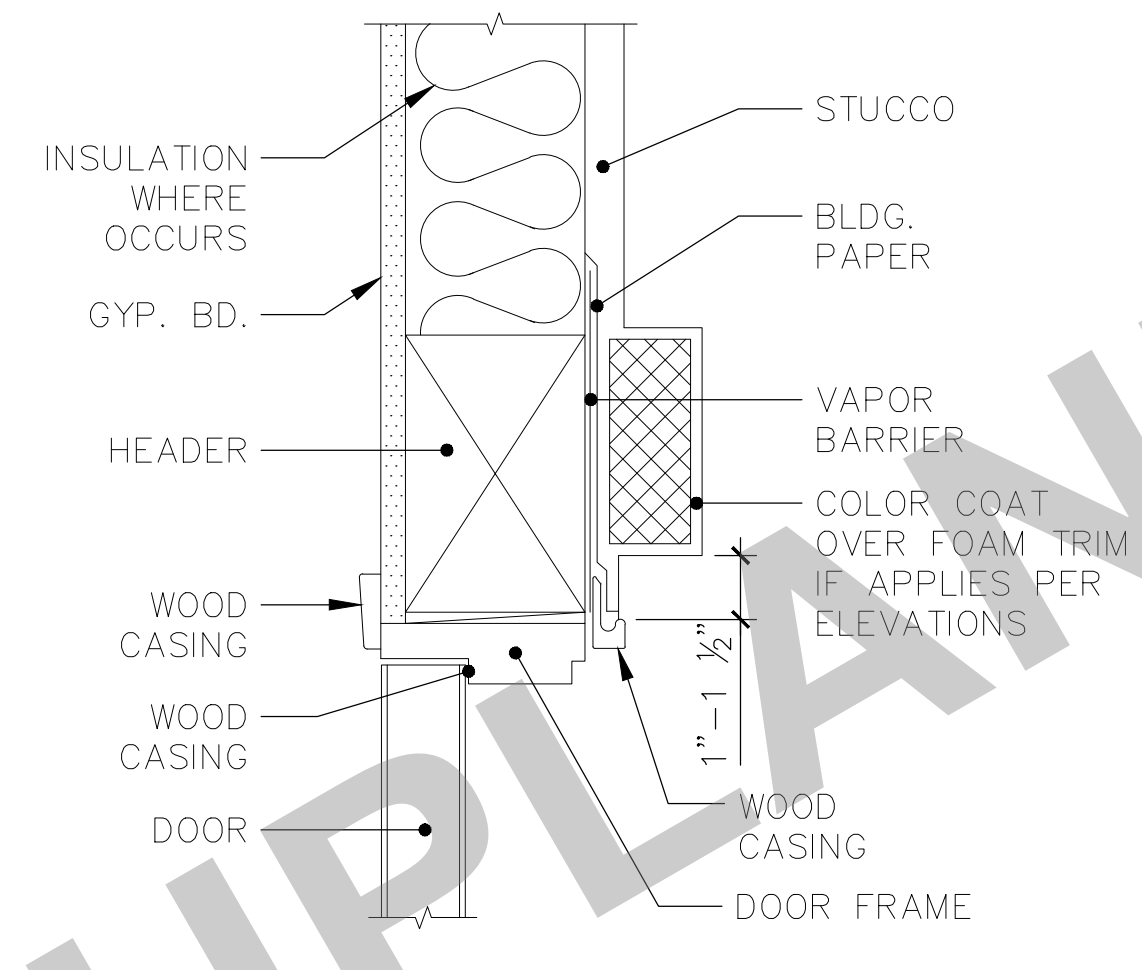
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TYP. SPLICE @ CONC. FTG.



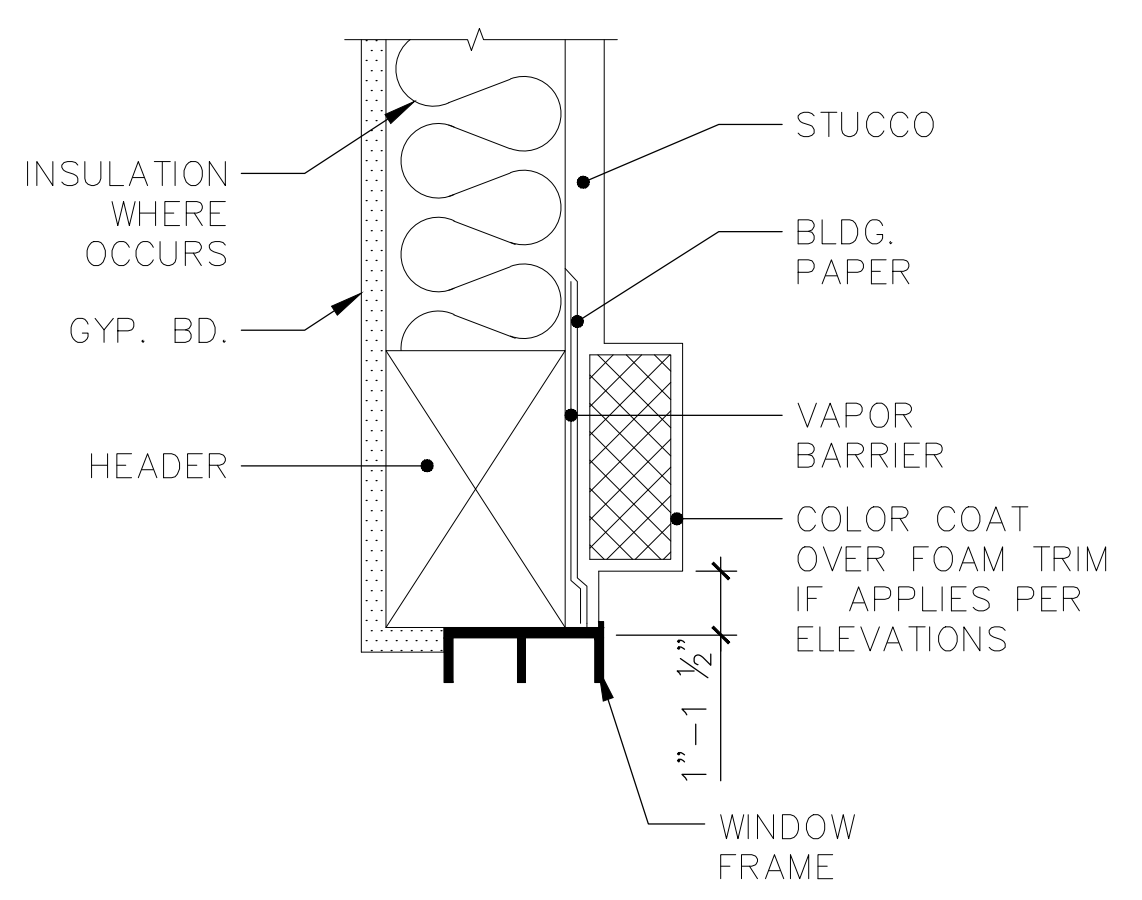
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DOOR HEAD



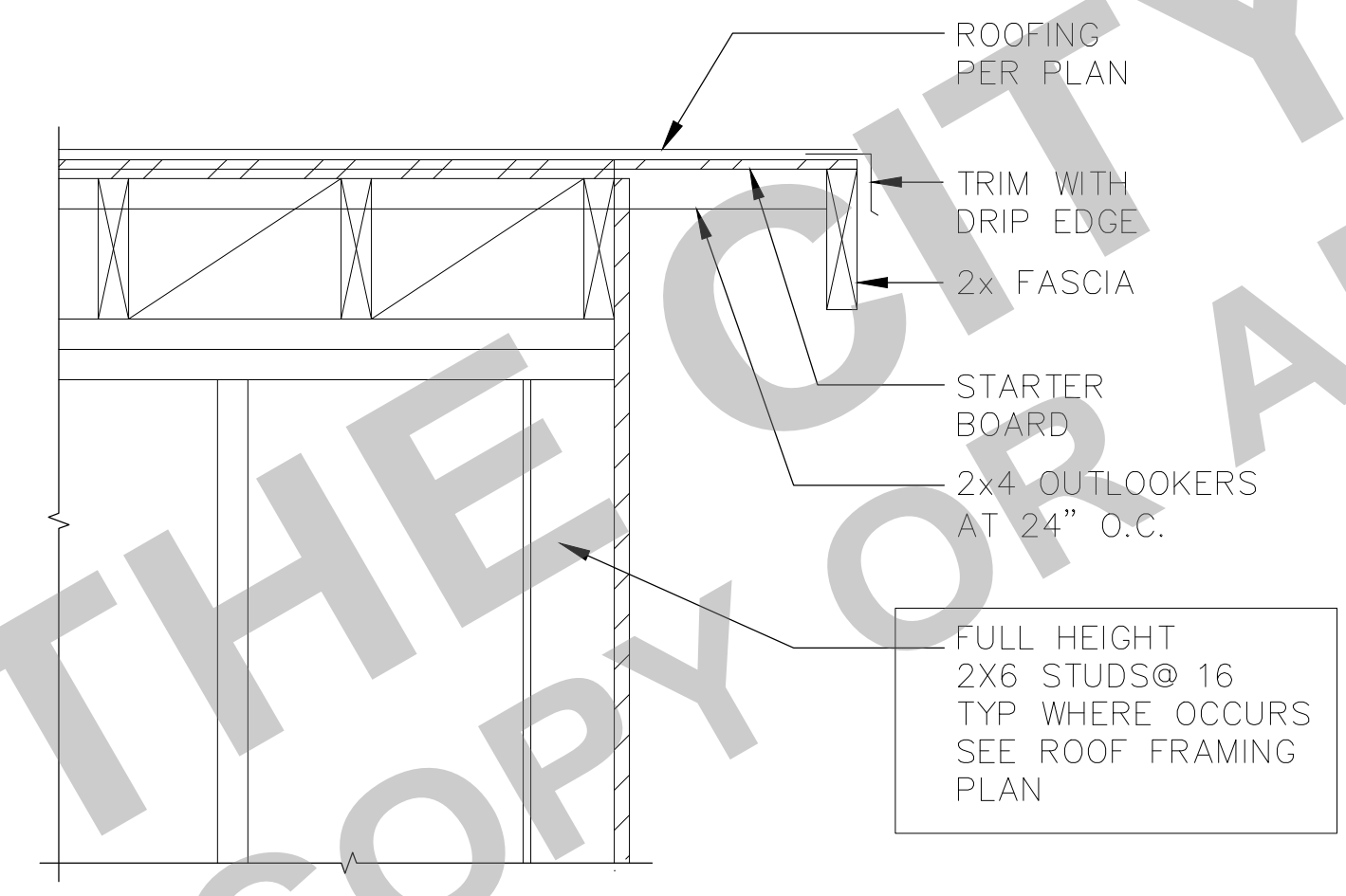
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WINDOW HEAD



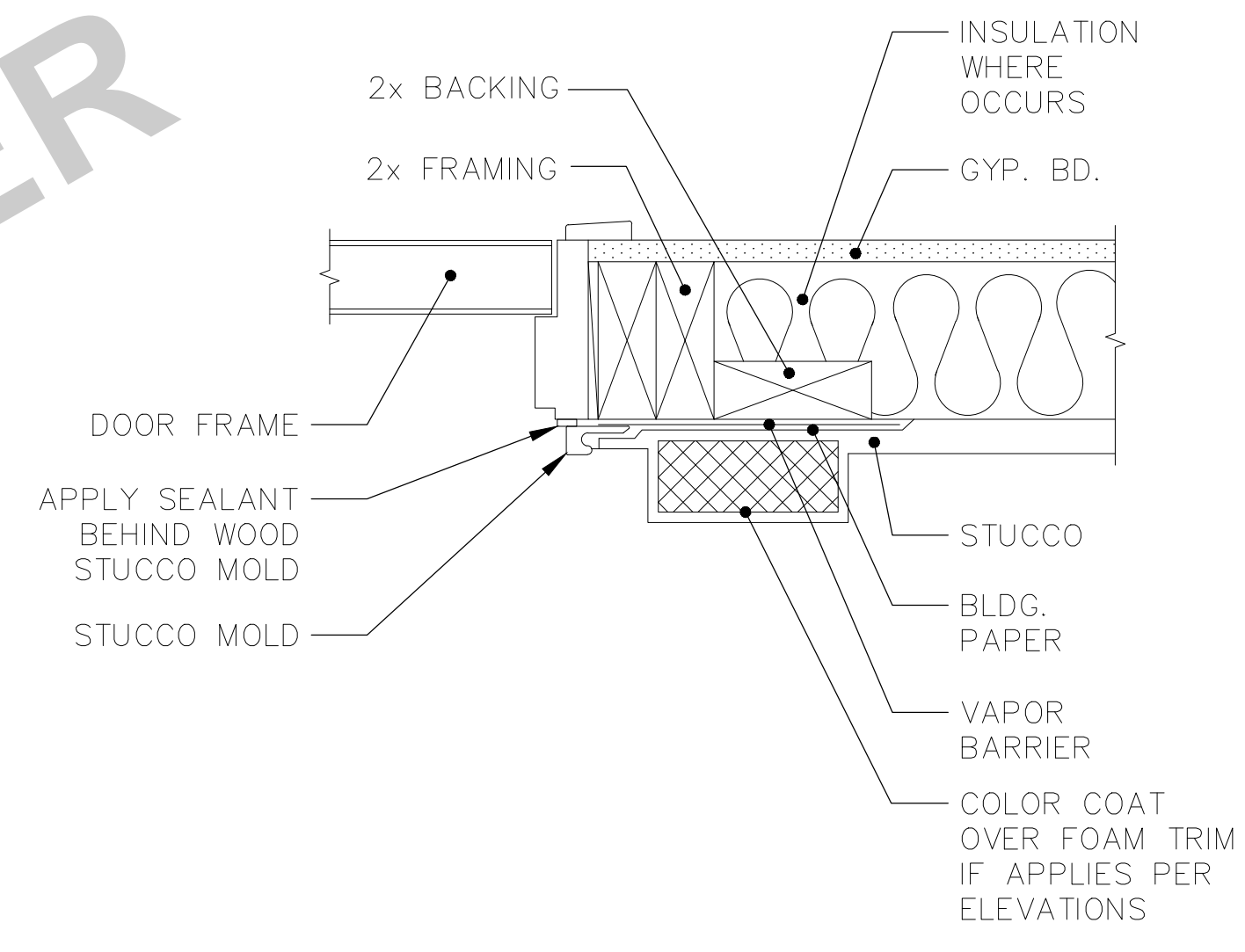
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EAVE AT RAKE VAULTED CEILING



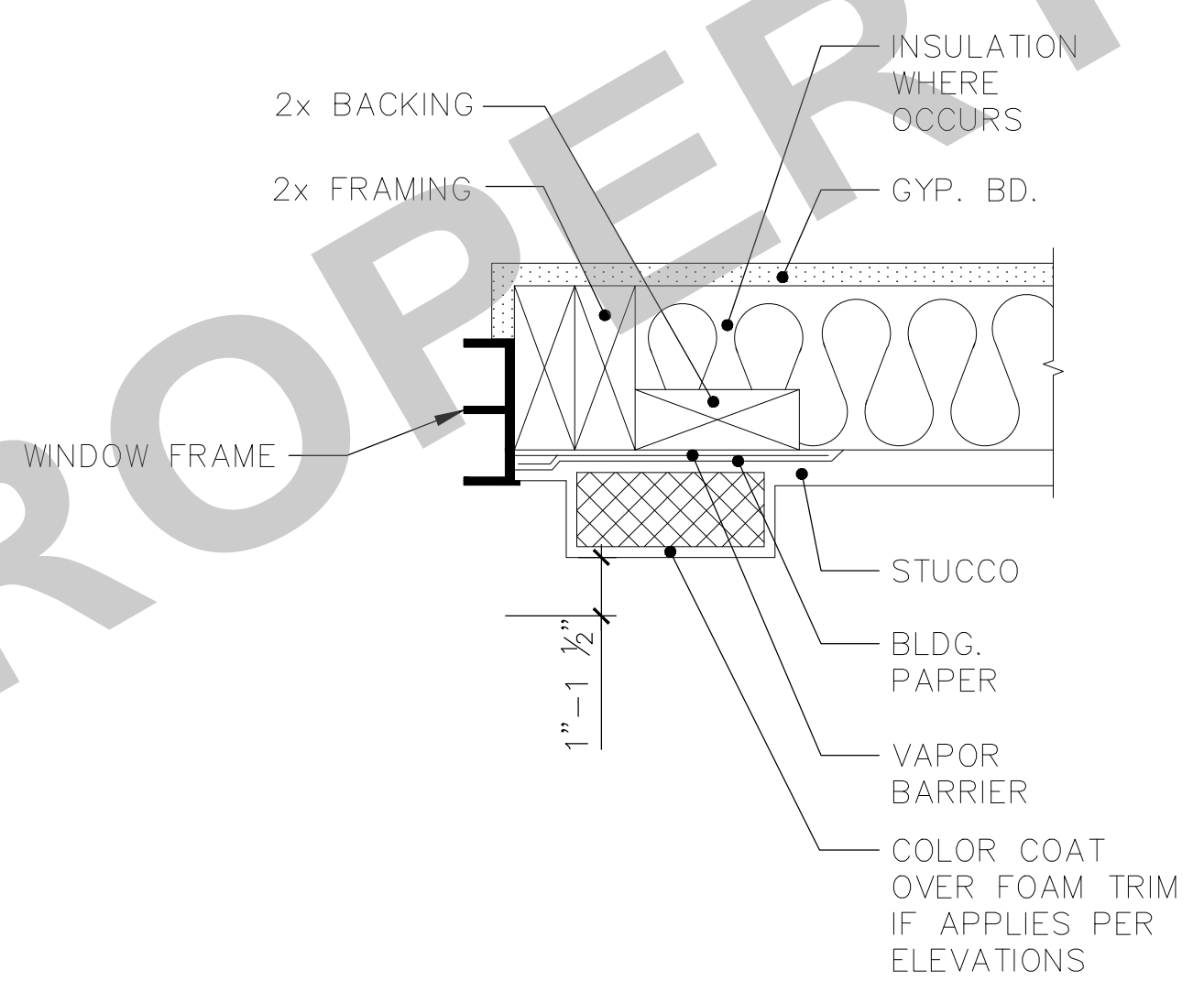
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DOOR JAMB



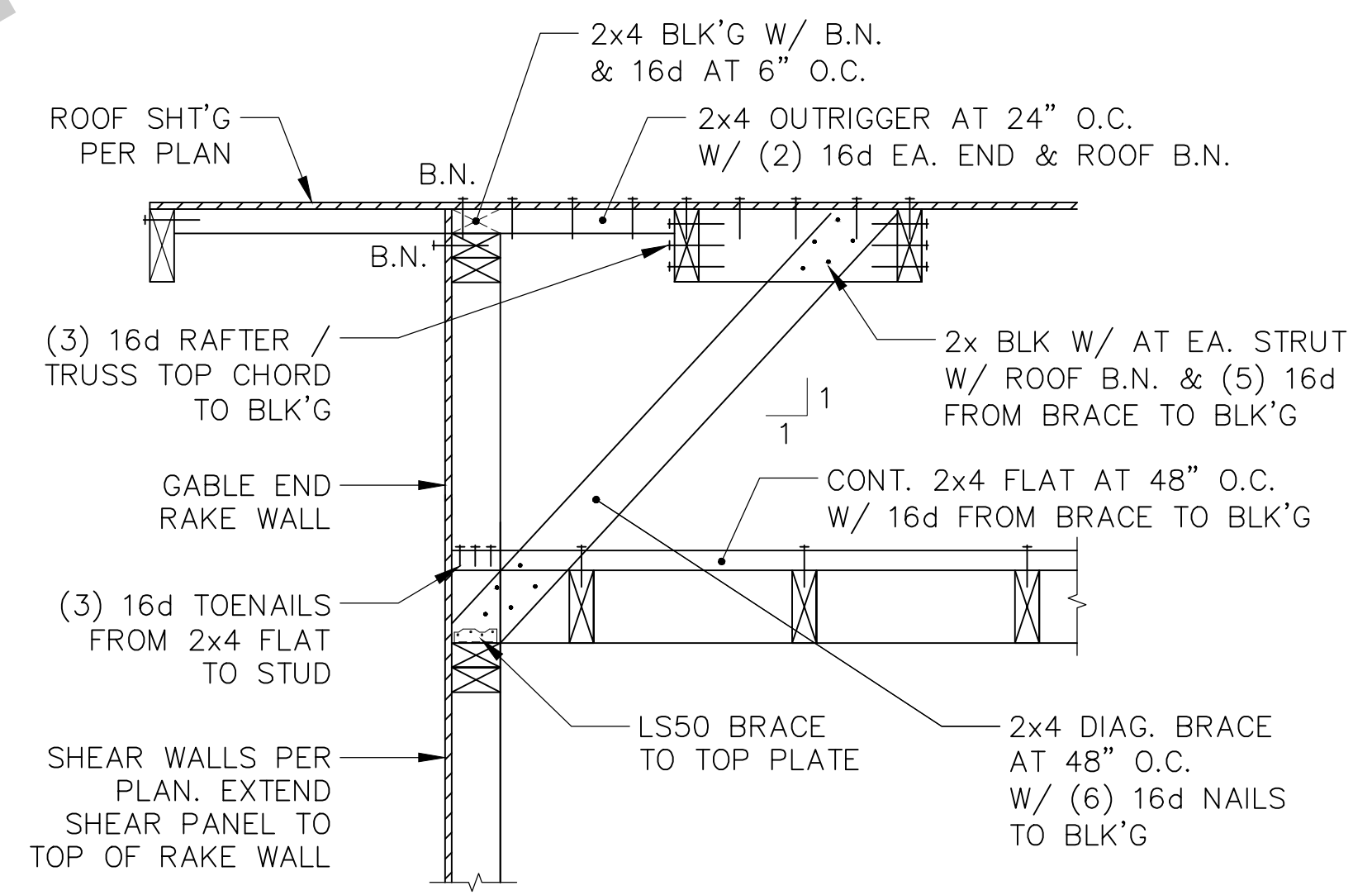
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WINDOW JAMB



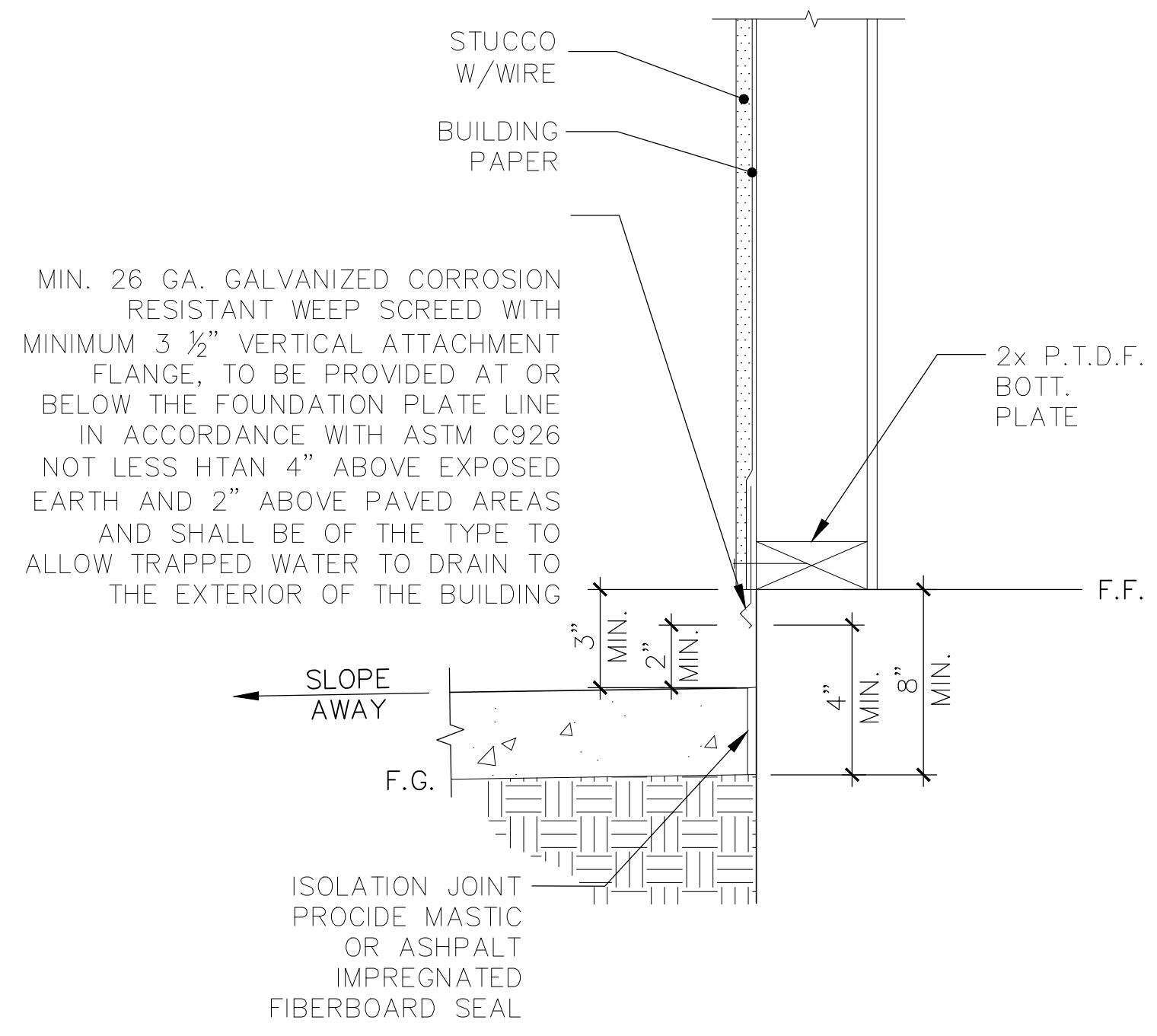
16

EAVE AT RAKE W/ CEILING



17

STANDARD WEEP SCREED



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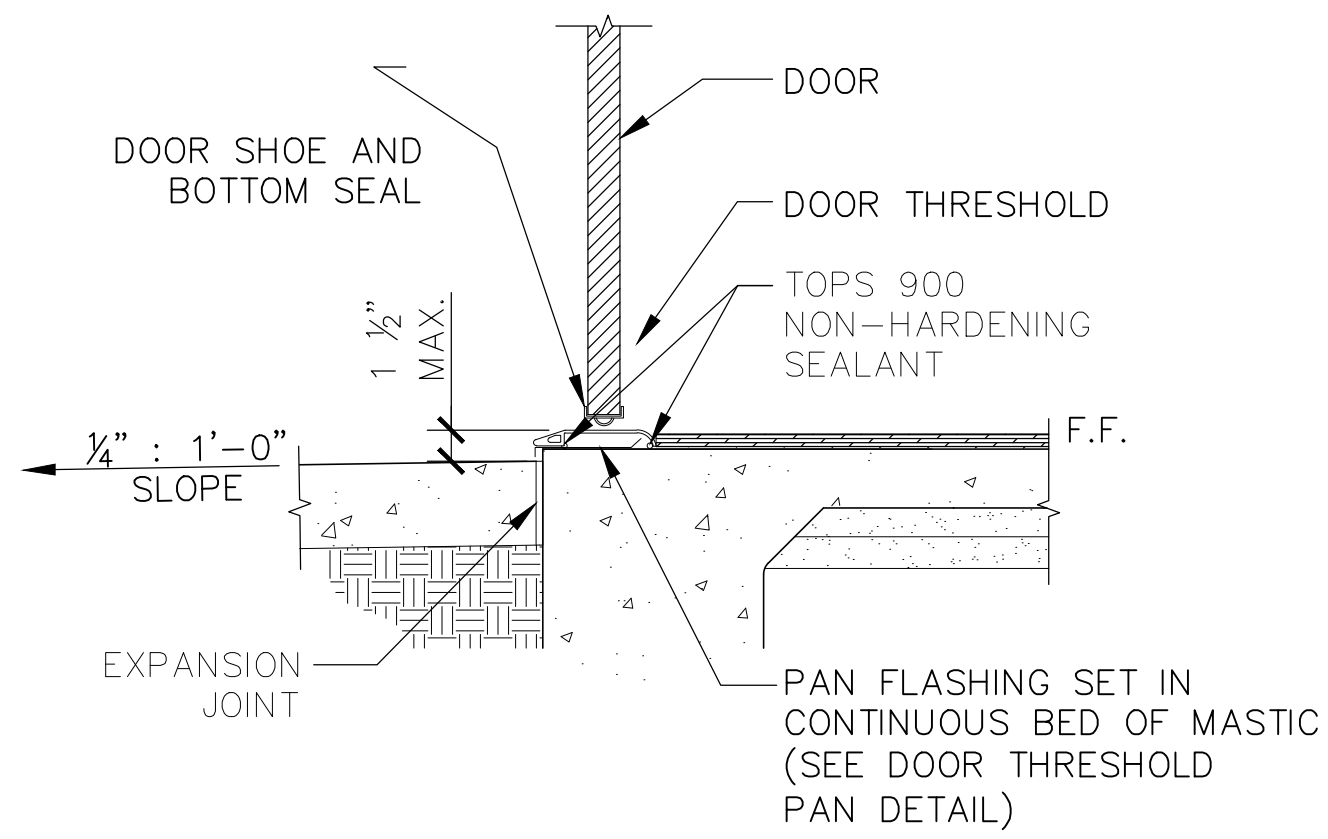
OWNER
SCALE
PROJECT NO. 230023
DATE 08-09-2023

STYLE

DESCRIPTION
ARCHITECTURAL DETAILS

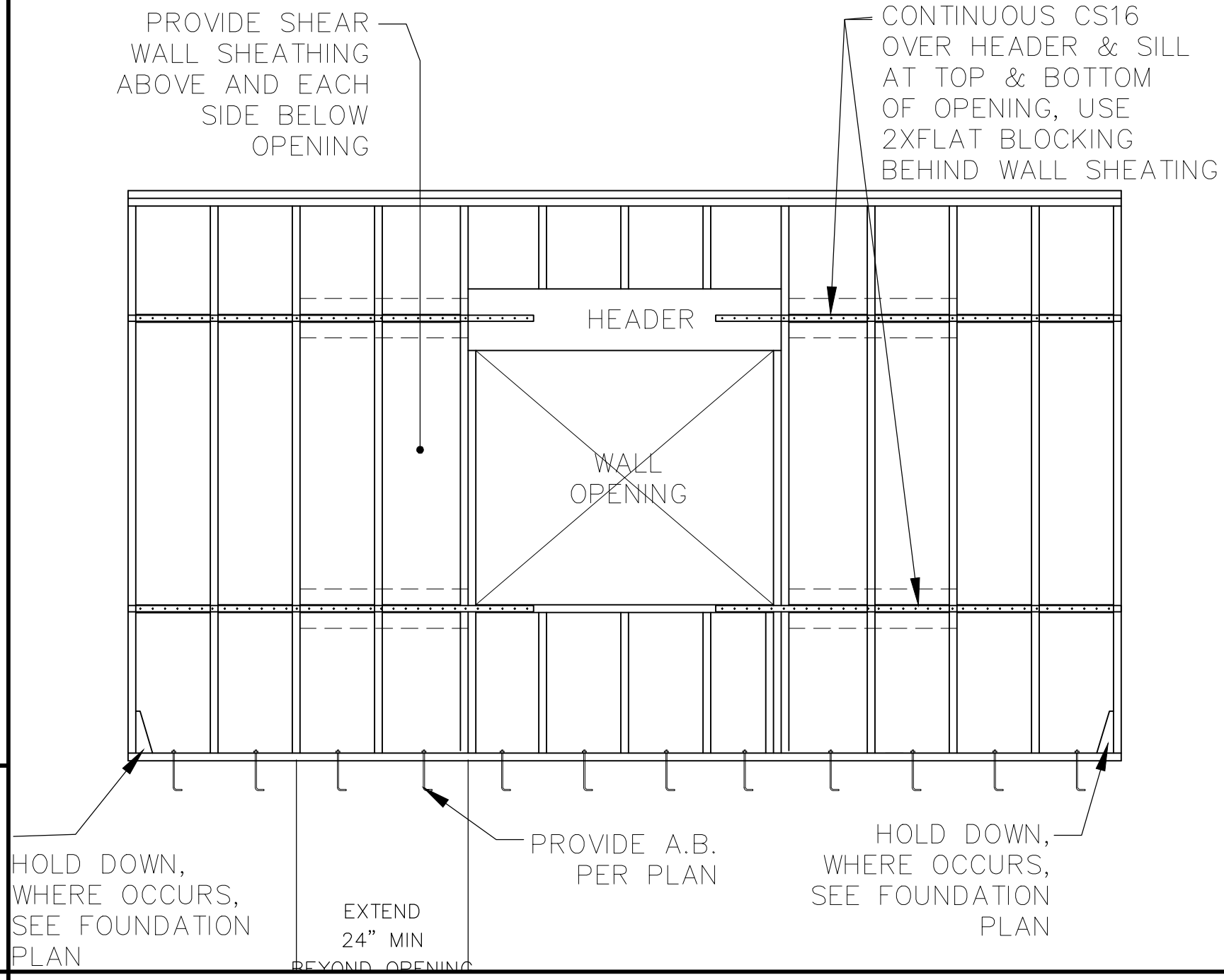
SHEET
SD2

DOOR THRESHOLD



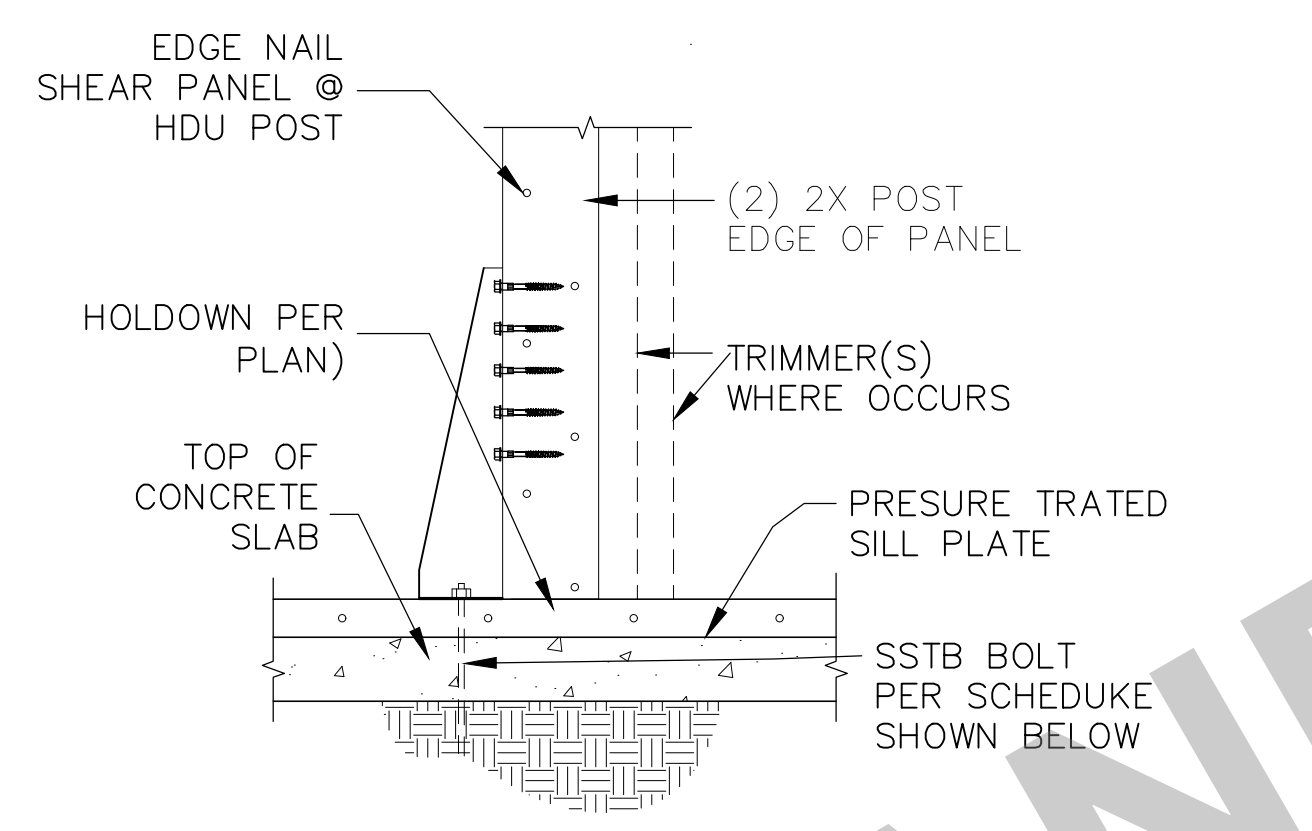
19

STRAPPING AT OPENING



20

TYPICAL HOLD DOWN



MARK	POST MIN	NUMBER OF SDS2.5 TO POST	BOLT IN NEW FOOTING	MIN EMBEDMENT
HDU2	(2) 2X	6	SSTB20	17"
HDU4	(2) 2X	10	SSTB24	24"

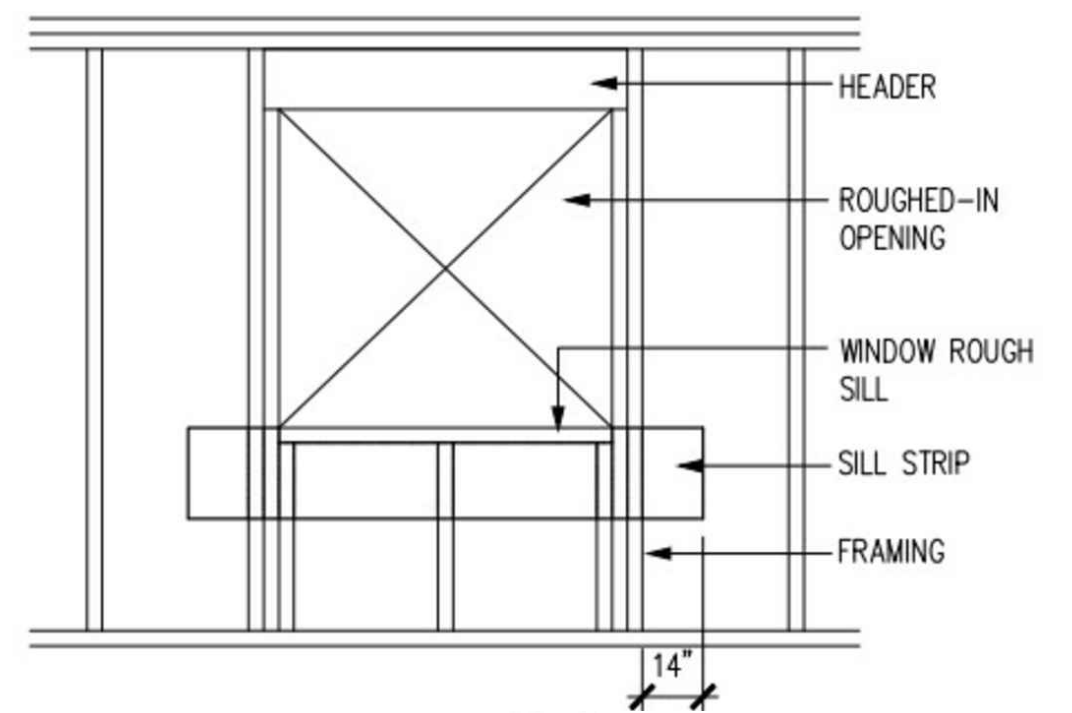
- NOTE:
1. MINIMUM DISTANCE FROM THE CENTER OF ANCHOR ROD TO THE EDGE OF THE CONCRETE FOOTING SHALL BE 1 3/4"
 2. DEEPEN FOOTINGS AS REQUIRED FOR 3" COVER AT ANCHORS.
 3. MINIMUM EMBEDMENT IS MEASURED FROM TOP OF CONCRETE SLAB
 4. SSTB PROJECTION ABOVE TOP OF CONCRETE SLAB SHALL BE 5"

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WALL PENETRATION FLASHING

NOTES: SECTION 1403.2 C.B.C. CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHERPROOF. THIS IS OUR RECOMMENDED PROCEDURE FOR STANDARD FLASHING AT OPENINGS IN WOOD FRAMED EXTERIOR WALLS WHERE THE EXTERIOR WALL FINISH IS APPLIED OVER BUILDING PAPER OR FELT. USE "MOISTOP" FLASHING OR EQUAL WHENEVER POSSIBLE FOR FLASHING MATERIAL. CAULK BACK OF WINDOW FRAMES BEFORE SETTING. USE WINDOWS THAT ARE WATERTIGHT.

THE WIDTH OF FLASHING MATERIAL SHALL PROVIDE FOR A MINIMUM LAP OF 6" AT VERTICAL AND 2" AT HORIZONTAL JOINTS AND OVERLAPS WITH OTHER WEATHER RESISTANT MATERIALS. LINE-WIRE, WHEN USE AS BACKING TO SUPPORT BUILDING PAPER BENEATH WIRE LATH FOR STUCCO, SHOULD BE INSTALLED ACCORDING TO INDUSTRY STANDARDS AND PRACTICE. NO ATTACHMENT DEVICE NOR THE WIRE BACKING SHOULD COVER OR PENETRATE FLASHING MATERIAL. PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENING MUST COVER THE WIRE BACKING.

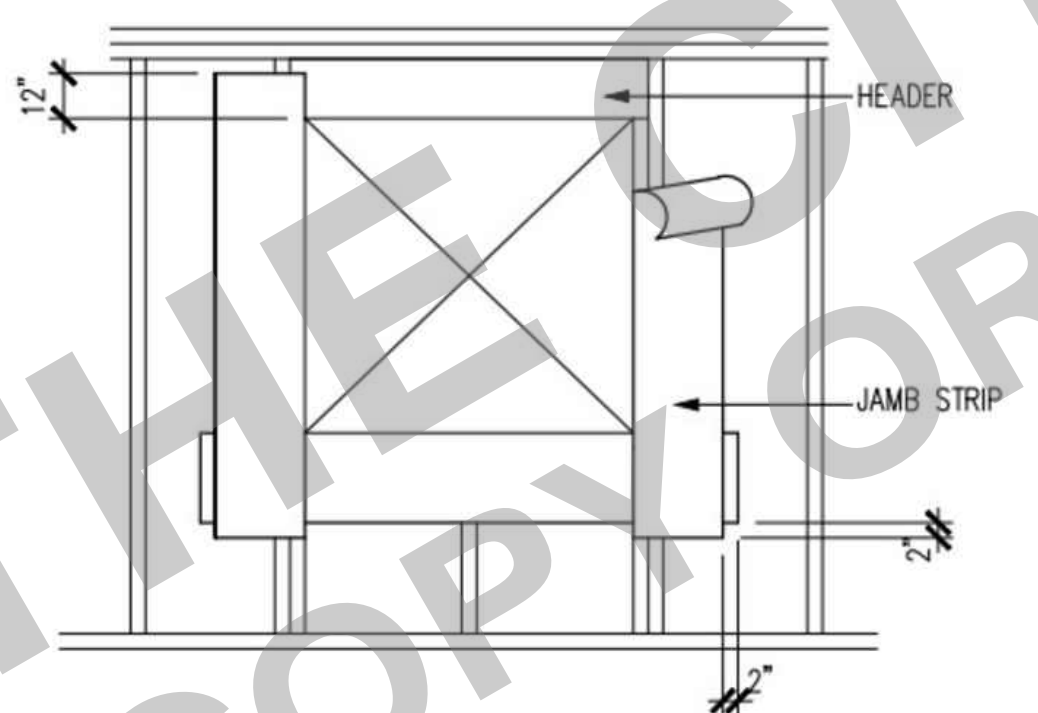


ATTACH SILL STRIP OF FLASHING MATERIAL AT LEAST 12" WIDE WITH THE TOP EDGE ALIGNED WITH THE TOP EDGE OF THE ROUGH SILL. EXTEND THIS SILL STRIP AT LEAST 14" BEYOND THE EDGE OF THE ROUGH OPENING FOR WINDOW, 2" BEYOND THE JAMB STRIP. ATTACH FLASHING WITH CORROSION RESISTANT NAILS OR RUST-RESISTANT STAPLES. (VERIFY WIDTH OF FLASHING MATERIAL TO ALLOW FOR MINIMUM LAPS AT EXPOSED WOOD TRIM CONDITIONS.)

22

WALL PENETRATION FLASHING

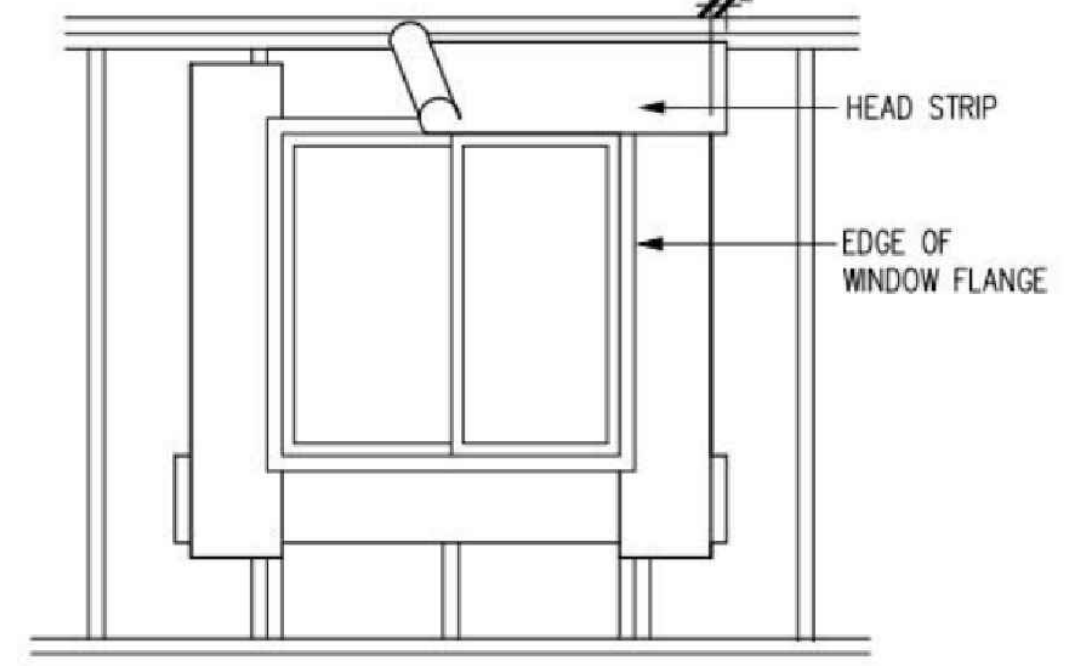
AFTER SILL STRIP IS IN PLACE, ATTACH JAMB STRIP AT LEAST 12" WIDE WITH INSIDE EDGE OF FLASHING ALIGNED WITH EDGE OF WINDOW OPENING. START JAMB STRIPS 2" BELOW THE SILL STRIP AND EXTEND JAMB STRIPS 12" ABOVE THE LOWER EDGE OF THE HEADER, TOP OF WINDOW OPENING. (VERIFY WIDTH OF FLASHING MATERIAL TO ALLOW FOR MINIMUM LAPS AT EXPOSED WOOD TRIM CONDITIONS.)



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WALL PENETRATION FLASHING

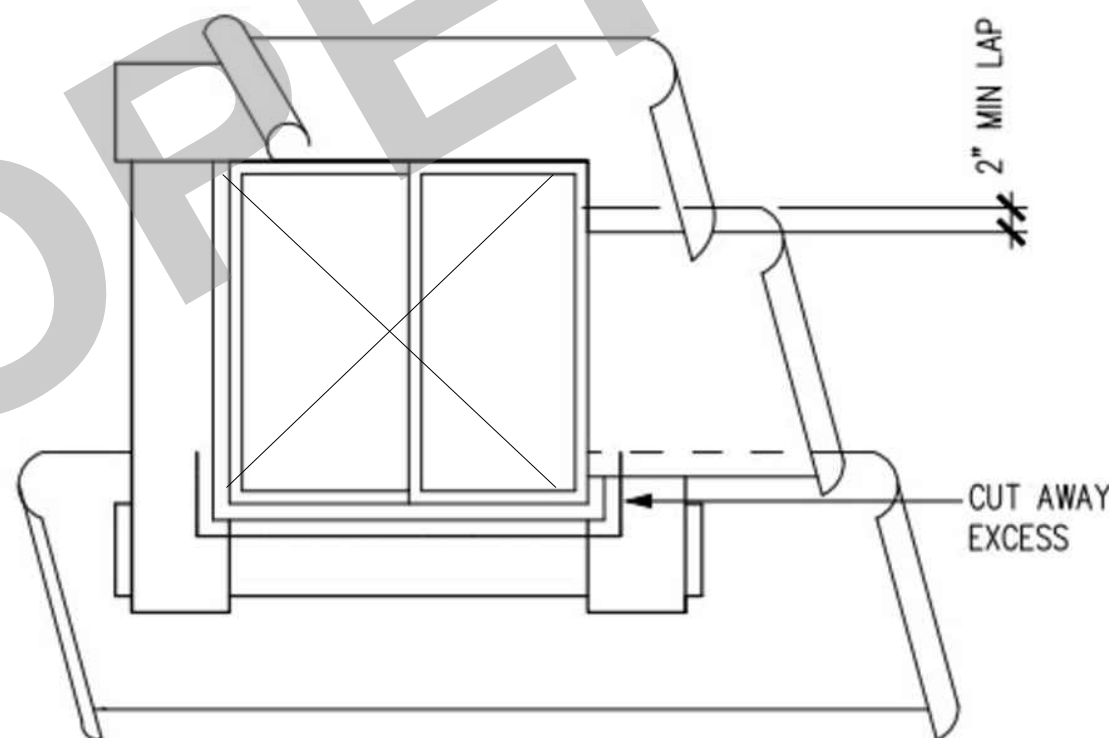
APPLY A CONTINUOUS BEAD OF SEALANT TO THE BACK SURFACE OF THE WINDOW FLANGE. INSTALL WINDOW INTO ROUGH OPENING OVER SILL AND JAMB FLASHING STRIPS PER MANUFACTURER'S REQUIREMENTS. APPLY CONTINUOUS BEAD OF SEALANT TO THE FACE OF THE WINDOW'S TOP FLANGE. ATTACH THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS ANOTHER STRIP 12" WIDE WITH A 2" MINIMUM LAP BEYOND THE JAMB STRIPS. (VERIFY WIDTH OF FLASHING MATERIAL TO ALLOW FOR MINIMUM LAPS AT EXPOSED WOOD TRIM CONDITIONS.)



24

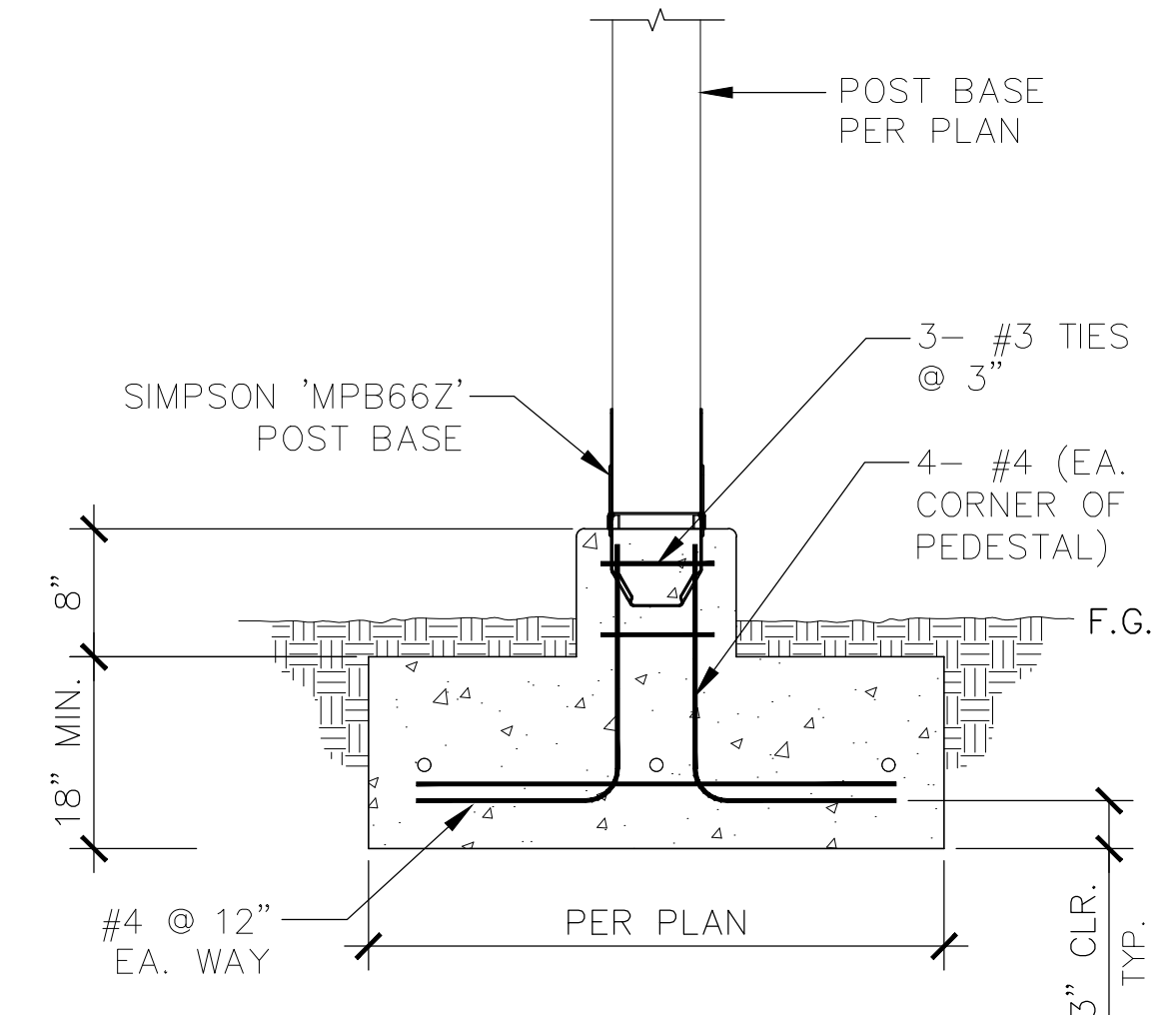
WALL PENETRATION FLASHING

STARTING AT THE BOTTOM OF THE WALL (SOLE PLATE), LAY BUILDING PAPER UNDER THE SILL STRIP. CUT AWAY ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE ON EACH SIDE OF THE OPENING. APPLY SUCCESSIVE LINES OF BUILDING PAPER OVER JAMB AND HEAD FLANGES, LAPPING EACH COURSE. PAPER SHOULD RUN CONTINUOUSLY OVER HEAD WITH NO SPLICES ABOVE WINDOW.



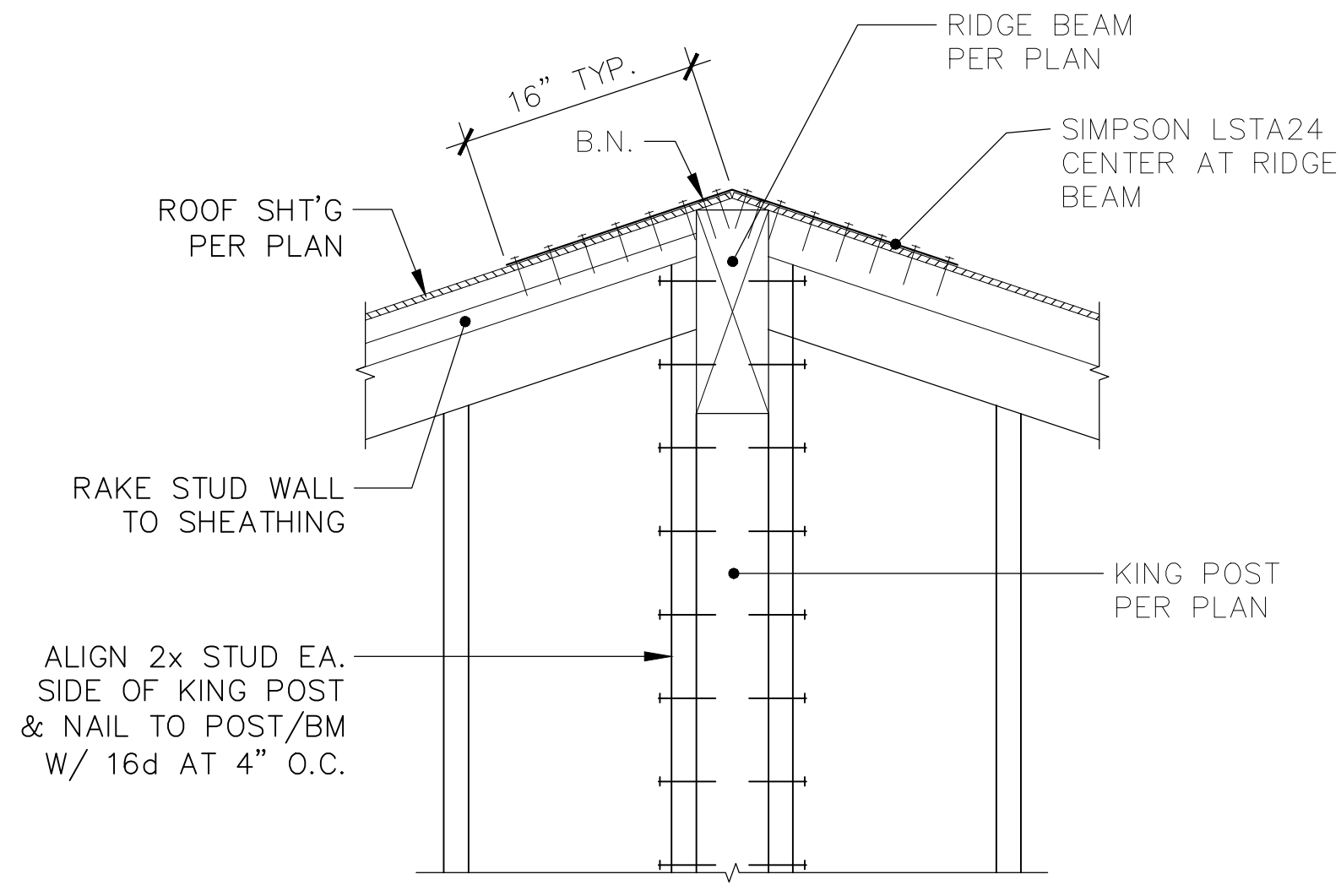
25

PATIO COVER POST TO FOOTING



26

POCKET AT RIDGE BEAM / KING POST



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PROJECT
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PROJECT ADDRESS



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SCALE
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DATE 08-09-2023

STYLE

DESCRIPTION
ARCHITECTURAL DETAILS

SHEET
SD3